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# COMMERCIAL DEVELOPMENT GUIDE

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PUBLISHED 08/18/2025

**City of Twin Falls, Community Development**  
203 Main Ave E, Twin Falls ID 83303-1907  
Website: <https://www.tfid.org/>  
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*Blue Text: Hyperlinked Externally & Yellow Text: Hyperlinked within document*

**\*\*DOCUMENT WILL BE REVISED AS NEEDED, PLEASE CHECK THE WEBSITE FOR THE MOST UP-TO-DATE VERSION.\*\***

**INTENT:** The intent of this Guide is to provide an overview of the City of Twin Falls requirements and assist applicants in submitting full, complete application packages. In submitting all information mentioned herein, this may decrease review timelines. We stress that this is not an all inclusive document. Refer to all Federal, State and Local, requirements for additional items not included herein.

**DISCLAIMER:** This document is not all inclusive. While every effort has been made to provide complete and accurate content, it does not exempt the applicant from requirements that are identified during review or inspection. Approval is subject to all applicable Codes and Standards. Utilization of this Guide, and City Approval, does not exempt the applicant/designer from any provisions of Federal, State or Local codes and standards.

*\*Blue Text is Hyperlinked Externally & Yellow Text is Hyperlinked within this document.*

# PROJECT VISION

## SECTION I-A

### **Where should you start?**

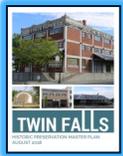
*Understand where you stand & where you can locate general requirements*

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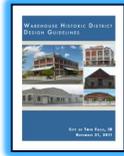
# RESOURCES

## CITY OF TWIN FALLS

- [City Code of Twin Falls, Idaho](#)



Historic Master Plan



Warehouse Historic District Design Guidelines



Downtown/City Park Historic District Design Guidelines



Sample Sign Reference Manual



Land Use Matrix



City Strategic Plan



City Comprehensive Plan



Public Records Request



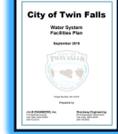
2014 ADA Transition Plan



2009 MTP Master Transportation Plan



2015 Wastewater Master Plan



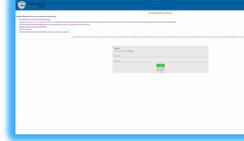
Master Plan 2016 Water



2020 ISPMC — City of Twin Falls Revisions



Portal Guide



Portal

## MAPS



Zoning



Comprehensive Future Land Use



FEMA Floodplain Boundaries



Streets



Fire Hydrants

\*All Images are Hyperlinked. **Blue** Text is Hyperlinked Externally & **Yellow** Text is Hyperlinked within this document.

# APPLICABLE CODES & STANDARDS



2018 IBC  
Building Code



2009 ICC  
Accessible Buildings



2018 IEBC  
Existing Building Code



2018 IECC Energy  
Conservation Code



2018 IFC  
Fire Code



2018 IFGC  
Fuel Gas Code



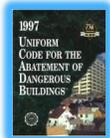
2018 IMC  
Mechanical Code



2017 IPC  
Plumbing Code



2023 NEC



1997 UCADB



2023 MUTCD



2020 ISPWC

## CITY OF TWIN FALLS SIGN BROCHURES



Permanent Sign:  
With/Without Inspection



Permit Required



Permit Not Required



Prohibited



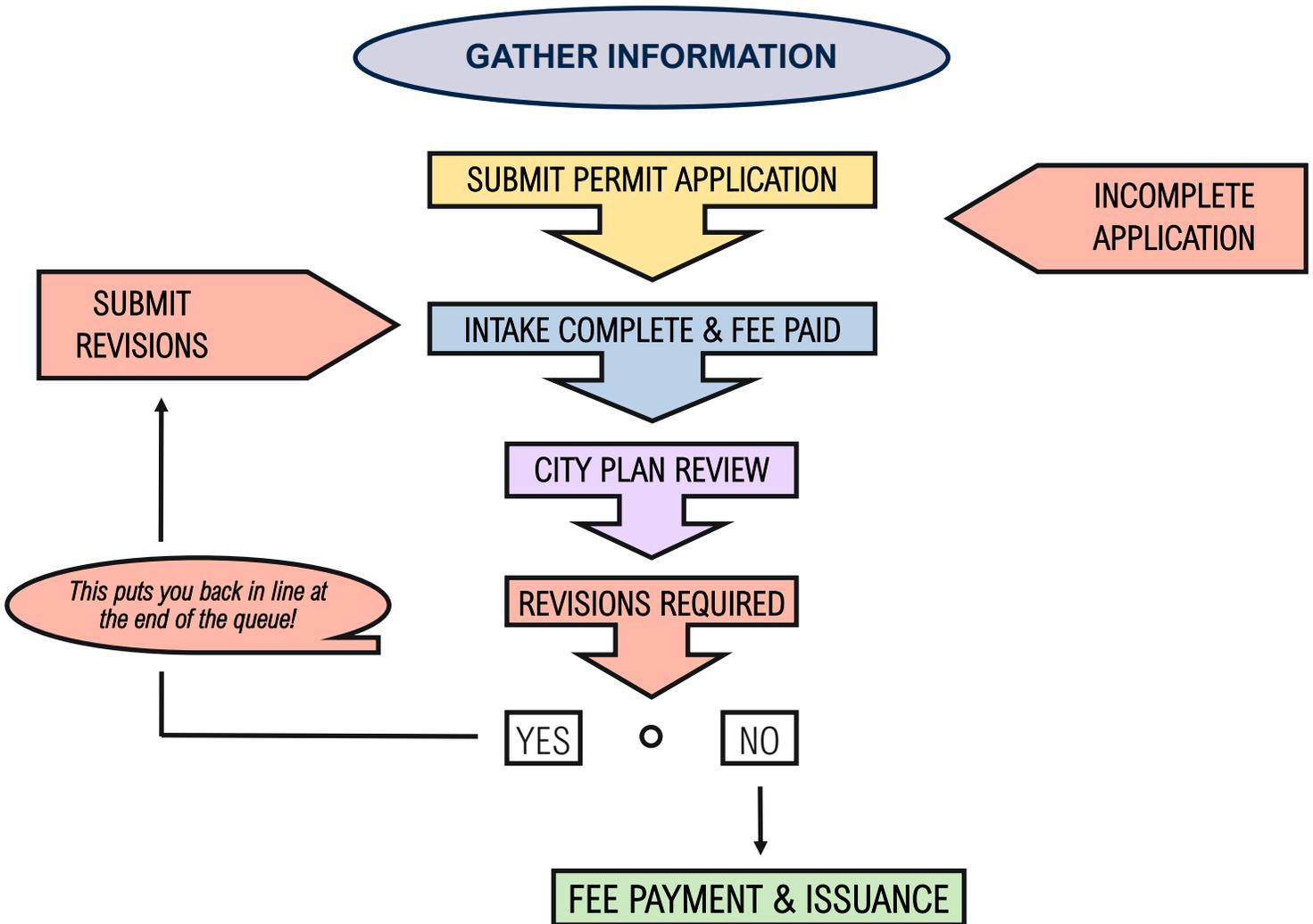
Temporary Sign  
Non-Profit & Non-Commercial  
Events

## AMENDMENTS — *To Applicable Codes*

- ◆ Refer to [City Code Section 4-1-2](#)
- ◆ Refer to [City Code Section 6-1-1](#)
- ◆ Refer to [IDAPA Amendments to IFC](#)

\*All Images are Hyperlinked. **Blue** Text is Hyperlinked Externally & **Yellow** Text is Hyperlinked within this document.

# GENERAL PERMITTING PROCESS



**Obtain Necessary Entitlements:** Applicants should check with Planning & Zoning to verify the proposed use is compatible with the current zoning of the property. It is also important to ensure that no other entitlements are required, and to discuss other applicable development code sections. (e.g. Annexation, Platting, Re-zone, SUP)

**Permit Application:** Applicants are able to submit through the online portal or via email to [BSDpermits@tfid.org](mailto:BSDpermits@tfid.org).

**Intake:** Staff will review the application package for completeness. Incomplete application submittals will result in delay in the permitting process. If corrections or apparent missing documents are necessary, we will reach out via email.

*\*This email will contain crucial information necessary for you to proceed with your application process.*

Initial plan review fees will be assessed and invoiced at this time.

**Plan Review:** Staff will review the plans based on current adopted codes. Review cycles often include corrections that require applicant response. Notification of corrections will be sent via email. You will be able to access your full correction list and markups via the portal.

**Issuance:** Once all departments have completed and passed their reviews, final fees are invoiced and emailed to the applicant. After fees are paid, approved plans will be released and accessible on the portal.

"Approved" will be in the file name to distinguish what file is the approved document.

# PRE-APPLICATION SERVICES

## SECTION I-B

*\*Blue Text is Hyperlinked Externally & Yellow Text is Hyperlinked within this document.*

# **PRE-APPLICATION SERVICES**

**BUILDING**

**ENGINEERING**

**PLANNING &  
ZONING**

- **FRONT DESK SERVICES**

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- **ONE-ON-ONE MEETINGS**

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- **PUBLIC RECORDS REQUEST**

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- **PROPERTY VERIFICATION LETTER**

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- **PROJECT COORDINATION MEETING**

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- **PERMITS**

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**FOR MORE INFORMATION**  
[tfd.org](http://tfd.org)



# CITY PRE-APPLICATION SERVICES

## FRONT DESK SERVICES

- ♦The front desk can provide: Handouts, Brochures, & Website Links
- ♦Give any questions to the front desk to pass to the necessary department(s)
- ♦The front desk can provide you with City Staff contact information & Transfer calls accordingly
- ♦You can set appointments for 'One-on-One Meetings'

## ONE-ON-ONE MEETINGS

- ♦Meetings will be scheduled for questions regarding general property and/or code regulations
- ♦You will meet with 1 Department Only
- ♦These meetings can be scheduled via phone calls, drop-ins, emails, etc.
- ♦Meetings will be scheduled 3-5 business days in advance for 1 hour time slots.

## PUBLIC RECORD REQUEST

Need more information about a property or project?

- ♦This request will provide documents and records that are on file (per Idaho State Code 74-104-111).
- ♦Request shall receive a response within 3 business days. Requestor may be notified that more time is needed. This will be an additional 7-10 business days. *\*Extensive requests may be billed for staff time.\**
- ♦Request Form: [Public Records Request Form](#).

## PROPERTY VERIFICATION LETTER

What is a property verification letter?

- ♦**Property** specific document where design requirements such as Building, Engineering, and PZ codes are denoted, all open code enforcement cases on the property are identified, what the current entitlements of the property are, and available general City utility information.
- ♦This process can take 5-7 business days.
- ♦Cost: There is a \$250.00 Flat Fee
- ♦Request Form: [Property Verification Letter Request](#).
  - » Or can be found on the City Website under Planning and Zoning forms.

# CITY PRE-APPLICATION SERVICES

## PROJECT COORDINATION MEETING

### Meeting Purpose:

- ◆ To inform applicant of policies, plans, and development requirements of the City of Twin Falls
- ◆ Staff to review general characteristics and concept of a proposed project. Focus on Project specific items.
- ◆ To discuss coordination of all necessary permits and procedures

The intent of this meeting is to save applicants time and resources in preparation for permit applications, and to ensure a quicker and clearer review by the City team.

These meetings **are not** an all-inclusive review.

\*Scheduled *at least* 1 week in advance, depending on staff availability\*

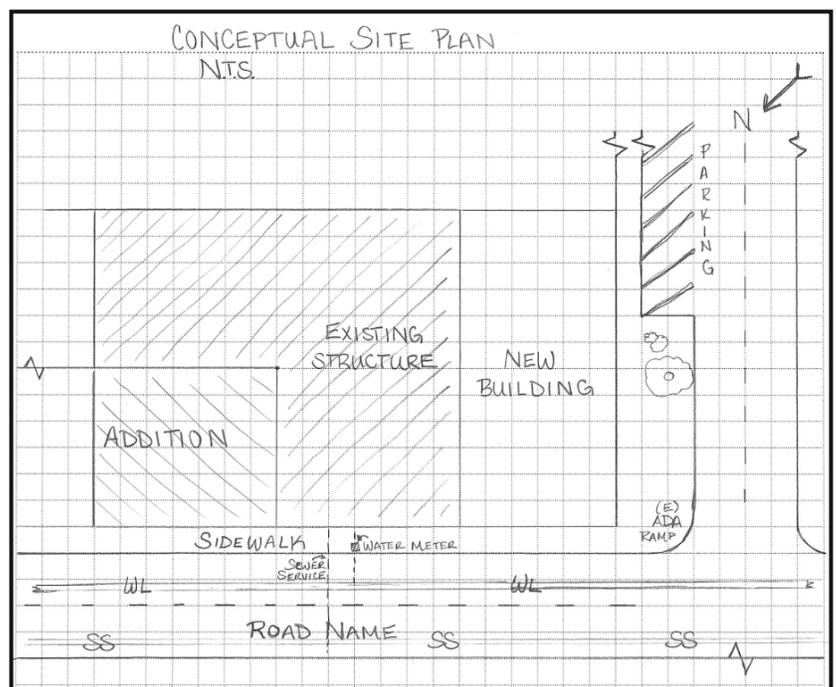
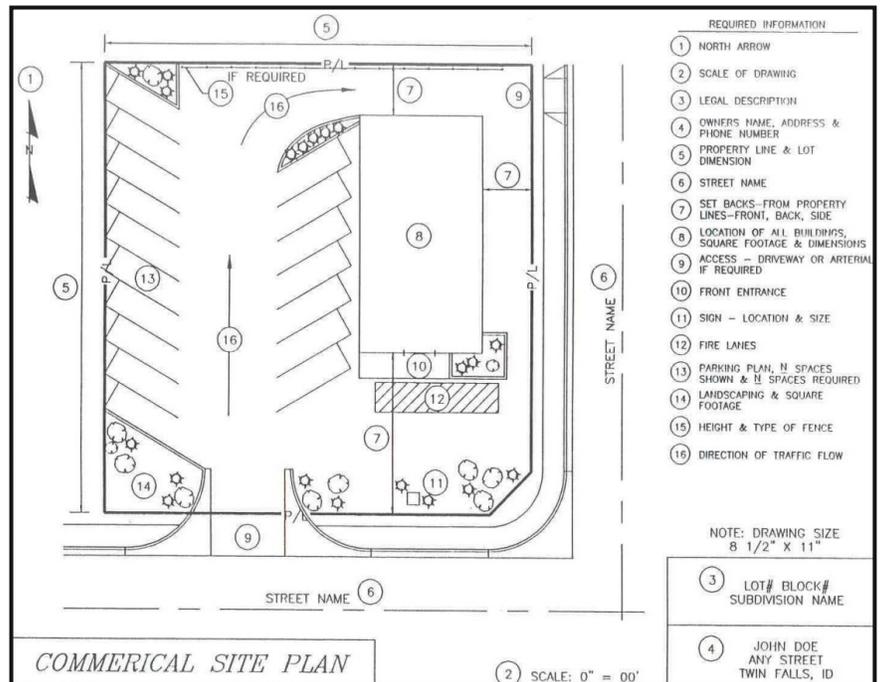
◆ Request Form: [Project Coordination Meeting Request](#).

» Or found on the City Website under Planning and Zoning forms.

◆ **Minimum submittal requirements to be scheduled:** Completed Request Form & Legible Conceptual Site Plan.

*More detailed conceptual site plans = smoother coordination for all necessary processes & staff highlights of any major problems/hurdles you may encounter.*

Acceptable **Conceptual Site Plan** Examples:



# PROJECT DESIGN

## SECTION II

### What should be included on the plans & other necessary submittal documents?

*Understand what staff generally look for during their review!*

**\*CONTENT REQUIREMENTS ARE DIFFERENT FOR EACH PERMIT TYPE\***

- ◆ Remodel, Tenant Improvement, OR Change of Occupancy
- ◆ New Commercial, Addition, OR Shell Building
- ◆ Multi-Family
- ◆ Site Only (**FULL DEFINITION & APPLICATION COMING SOON**)

» *See Application Section for Additional Information.*

*Any questions on specific requirements can be directed to the corresponding Community Development Team members: BSD, P&Z Department, Fire Marshal, or Engineering Department.*

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# ACCESSIBILITY

Per Current Adopted ADA Design Standards & Regulations

Also see Twin Falls City Code & Current Adopted Edition of ICC (A117.1) & IBC

## PATHWAYS & ENTRANCES



### ♦ Accessible Parking:

- » Designated accessible parking spaces with appropriate width and adjacent access aisles.
- » Clear signage indicating accessible parking.
- » Level surfaces and accessible routes from parking to the building entrance.

### ♦ Sidewalks and Pathways (Right-of-Way/Public & Private):

- » Smooth, level, and wide pathways free of obstructions.
- » Stable and non-slip surfaces.
- » Adequate lighting for visibility.
- » Clear of overhanging obstacles.

### ♦ Curb Ramps:

- » Curb ramps at intersections and where sidewalks transition to streets or parking lots.
- » Ramps with gradual slopes and non-slip surfaces.
- » Detectable warning surfaces at the base of curb ramps to alert people with visual impairments.

### ♦ Entrances:

- » Level or ramped entrances per ADA standards.
- » Landings to comply with maximum slope requirements.
- » Wide doorways to accommodate wheelchairs and other mobility devices.
- » Automatic doors or doors with easy-to-operate hardware (e.g., lever handles).
- » Adequate lighting at entrances.

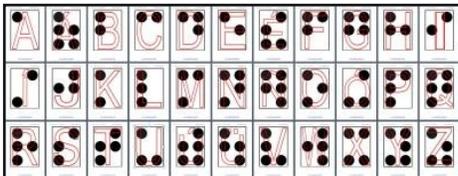


### ♦ Ramps:

- » Gradual ramps with handrails for entrances with changes in level.
- » Ramps with appropriate slope, width, and landings.
- » Non-slip ramp surfaces.

### ♦ Lighting:

- » Adequate lighting of all walkways, and entry ways. This is important for those with visual impairments, and for general safety.



### ♦ Signage:

- » Clear and visible signage indicating accessible entrances, parking, and other features.
- » Signage with high contrast and appropriate font sizes.
- » Tactile signage (e.g., Braille) for people with visual impairments.

## ADDITIONAL CONSIDERATIONS

- ♦ **Outdoor Seating:** Accessible outdoor seating areas with space for wheelchairs.
- ♦ **Public Transportation Access:** Access points near the building for any type of public transportation.
- ♦ **Detectable Warnings:** Detectable warning surfaces at hazardous locations, such as edges of platforms or drop-offs.



# ACCESSIBILITY

## BUILDING FACADE & INTERIOR

- ◆ Label **ALL Accessibility Access Features** per current International Building Code & ANSI A117.1.
- ◆ **Plan View & Details** required for accessibility features to be installed.
- ◆ **Identify Permanently fixed furniture:**
  - Cabinets, counters, reception counters, sales counters, lockers, seating, shelving, etc.
  - Floor plan designs and Elevations required.
  - Cannot be a deferred submittal.
- ◆ **All Pedestrian Routes**
  - Clear floor paths with adequate width
- ◆ **Accessible Entrances:**
  - Doors with clear openings and lever-style handles
  - Automatic door openers for commercial buildings
- ◆ **Accessible Restrooms:**
  - Wheelchair-accessible stalls with grab bars
  - Accessible sinks and mirrors
- ◆ **Accessible Seating:**
  - Wheelchair-accessible seating in assembly areas
  - Adequate knee & toe clearance
- ◆ **Accessible Signage:**
  - Clear & Legible signage, including Braille and tactile symbols
- ◆ **Accessible Telephones:**
  - Public telephones with hearing aid compatible receivers and volume controls
- ◆ **Area of Refuge;** if applicable



## APARTMENTS & OTHER MULTI-FAMILY

- ◆ **Accessible Units & Parking;** to be indicated clearly on Site Plan for location and type.

# ARCHITECTURAL

## CODE/PLANS ANALYSIS

- Provide Plans Analysis
- See 'Example Plans Analysis' — [See Appendix](#) — *Only to be used as a guide.*
- Separate plans analysis required for each building.

## FLOOR PLAN

- Clear & Accurate Dimensions
- Exit Schemes
- Travel Distances
- Room Labels
- Exterior Wall Openings
- Door Swings
- Use Designations
- Exit Signage
- Racking — Over 5'9"
- Racking — > 12' Contact Fire Marshal
- Square footages
- For Additions, Tenant Improvements or Remodels:
  - Include Total Structure Floor Plan
  - Indicate Existing Occupancies of Adjacent Tenant Spaces

## ELEVATIONS

- Each Direction — North, South, East, West (show building height dimensions)
- Indicate street side elevations for Address Numbers
- Verify Address Number, including Suite Number, with Engineering Department
- Show Address Location/Placement & Scaled Size

## BUILDING SECTIONS & DETAILS

- Full Exterior Wall Section — Foundation to Roof
- Interior Wall Section; Show Height, Width, Construction Method(s), etc.
- Stair Section
- Room finishes for ceilings, walls and floors
- Schedules for all windows and doors
  - Indicate: Type, Size, Safety Glazing, Door Hardware (Type; i.e. Lever, Panic, Push-Pad)
- Provide Full U.L. or G.A. Listings & Details for Fire Separations
- Provide Fire Stop Material Specifications & U.L. Design
- Details
- Grid Ceilings or Storage Above Ceilings
- Flashing Details
- Loading Docks/Areas
- Storage Areas
  - Label Type(s)
- Identify Storage of IFC Regulated Materials
  - » See [IFC Chapter 50](#)
- Roof/Exterior Mechanical Equipment Areas
  - Screening Method(s)/Material(s)

# BASIC SHEET ELEMENTS

## ALL SHEETS

- ◆ Title Block
- ◆ Project Name
- ◆ Project Address
- ◆ Sheet Title
- ◆ North Arrow
- ◆ Scale Bar (If something is not to scale, Label – NTS)
- ◆ Sheet Reference — *per [Electronic Submittal Standards](#)*
- ◆ Revision History
- ◆ Roadway Names — *Verify road names with engineering department/City maps*  
— *Google is not always accurate*
- ◆ Designer's Name
- ◆ Engineers Stamp (As Appropriate)
  - » Questions on Stamp requirements?

1

*Contact engineering department 208-735-7248*

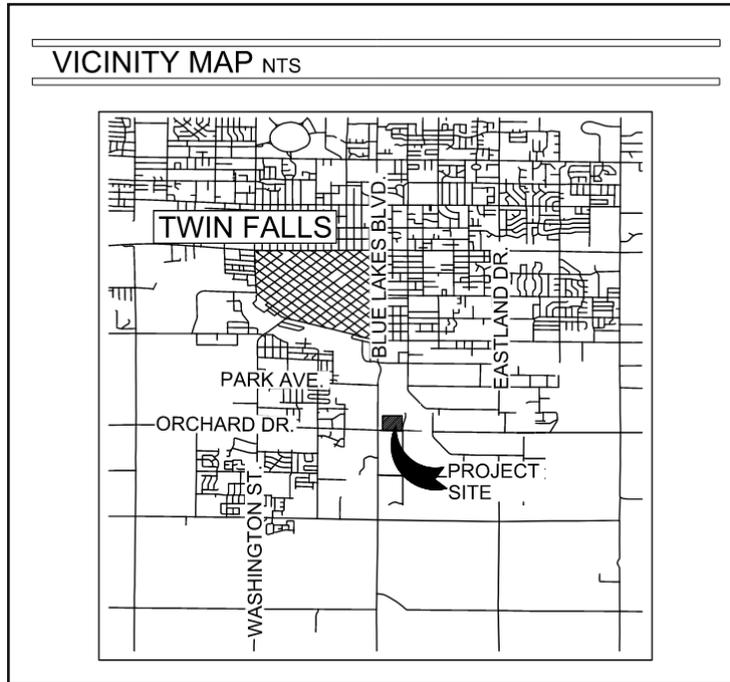
**CITY  
APPROVAL  
STAMP  
SPACE**

- ◆ City Approval Stamp Space
  - » 3" by 2.25" Minimum

NORTH ARROW & SCALE BAR	
DESIGNER STAMP	
COMPANY NAME & ADDRESS	REVISION HISTORY
SHEET TITLE	PROJECT NAME & ADDRESS PERMIT APPLICATION # (FOR REVISIONS)
CITY APPROVAL STAMP SPACE	
SHEET REFERENCE	
# OF #	

# BASIC SHEET ELEMENTS

## GENERAL NOTES & CONTACT SHEET



- ◆ Vicinity Map
- ◆ Sheet Index
- ◆ Project Name
- ◆ Project Number
- ◆ Project Address

- ◆ Legend
  - Linework & Symbols
- ◆ Contact Information — *All individuals/ companies working on the project*
  - Owner
  - Engineer
  - Architect
  - Other Design Professionals
  - Tenants

LEGEND	
— SS —	EX. SANITARY SEWER
— 6"SS —	PR. 8" SANITARY SEWER
— 18"SS —	PR. 18" SANITARY SEWER
— OHE —	EX. OVERHEAD POWER LINE
— 8"WM —	PR. 8" WATER MAIN
— 12"SD —	PR. 12" STORM DRAIN
— 6"PI —	PR. 6" PRESSURE IRRIGATION
— 8"PI —	PR. 8" PRESSURE IRRIGATION
— X — X —	EX. FENCE
— G — G —	EX. GAS LINE
— — — — —	PROPERTY BOUNDARY
— — — — —	LOT BOUNDARY
— — — — —	UTILITY EASEMENT
— — — — —	RIGHT-OF-WAY
— — — — —	EX. CURB/GUTTER/SIDEWALK
— — — — —	PR. CURB/GUTTER/SIDEWALK
— — — — —	ROADWAY CENTERLINE
— — — — —	SECTION LINE
— — — — —	CANYON RIM
— — — — —	CANYON RIM 50' OFFSET
— — — — —	BUILDING FOOTPRINT
— — — — —	MAJOR CONTOUR
— — — — —	MINOR CONTOUR
— — — — —	BUILDING SETBACK
— — — — —	WATER VALVE
— — — — —	FIRE HYDRANT
— — — — —	WATER SERVICE
— — — — —	SANITARY SEWER MANHOLE
— — — — —	SEWER SERVICE
— — — — —	EX. COMMUNICATIONS PED.
— — — — —	PR. LIGHT POLE
— — — — —	PR. CATCH BASIN
— — — — —	PR. STORM DRAIN MANHOLE
— — — — —	PR. MAILBOX CLUSTER
— — — — —	EX. MAILBOX
— — — — —	EX. CONIFEROUS TREE
— — — — —	EX. DECIDUOUS TREE
— — — — —	EX. SIGN
— — — — —	EX. CATCH BASIN
— — — — —	EX. POWER POLE

# BUILDING SYSTEMS — Mechanical/HVAC

## MECHANICAL/HVAC

- ◆ Identify specific Codes used in design.
- ◆ Equipment Schedule:
  - List make & model of equipment & other information pertinent to compliance with IECC

Plans to indicate the following:

- ◆ Condensate overflow protection per IMC section 307.2.3.1
- ◆ Compliance with currently adopted IECC (pay attention to IECC section C403.5).
- ◆ Method of controls for ventilation air (interlocks, timers, thermostats, etc.).
- ◆ Method of guard protection for equipment located on an elevated structure ( $\leq 10'$  from roof edge).
- ◆ Location of duct smoke detectors.
- ◆ Combustion air for appliances. (Per IMC Chapter 7 & the 2018 IFGC)
- ◆ All duct work with fire\smoke dampeners penetrating any fire rated assembly.
- ◆ ALL Fire Rated Penetrations
- ◆ Smoke Dampeners & Fire Dampeners
- ◆ Ventilation Calculations;
  - Required on all new HVAC systems, change of use, or change of occupancy
  - Natural or Mechanical Ventilation
- ◆ Mechanical ventilation (to reduce classified area classification per NEC & NFPA) in hazardous areas must indicate how ventilation system will operate (24 hr operation, while occupied, interlocks, method of controls, etc.).
- ◆ Provide outside ventilation air calculations with breakdown for compliance based on currently adopted IMC — Zone outdoor airflow according to: IMC section 403.3.1.1.1.1 (**403.3.1.1.1(V<sub>b2</sub>)**, **403.1.1.1.2 (E<sub>2</sub>)** and **403.3.1.1.1.3 (V<sub>o2</sub>)**).
  - ◆ This includes commercial hoods and make up air. Show:
    - Zone air distribution effectiveness numbers per IMC table 403.3.1.1.1.2 in ventilation calcs.
    - Ventilation calcs, and air balancing schedule as part of ventilation calcs.
    - Balance report (required at final inspection).

# BUILDING SYSTEMS — Mechanical/HVAC & Electrical

## Mechanical/HVAC

- ◆ Duct Insulation R-values,
- ◆ Mechanical System Control Schematic Load Calculations
- ◆ Engineered Mechanical plans:
  - May be required for projects such as paint booths, vehicle repair garages, parking garage, wood working shop, etc.
  - Hair/Nail salons; Special Exhaust Requirements
- ◆ See: IBC section 1202.1 & IMC section 402 & 403
- ◆ All designs for hazardous spaces or rooms require engineered plans. Including but not limited to; paint booths, wood working facilities, & repair garages.
- ◆ Classified Areas: Engineered plans may also be required where special conditions exist. (e.g., Parking garages, Type 1 hoods, some types of manufacturing, etc.)
- ◆ Provide structural calculations for equipment loading for roof structures.

All plans submitted are subject to review for compliance with all of the currently adopted IMC, IECC and IFGC.

## ELECTRICAL

- ◆ Exit signage & Emergency lighting locations;
  - Coordinate with Floor Plan or Reflected Ceiling Plan
- ◆ Switching Diagrams
- ◆ List and give details/boundaries of any classified areas per NFPA & NEC
- ◆ Lighting Schedule;
  - All interior & exterior fixtures
  - Bulb & Ballast Types
  - Exterior Lighting Type of Control
  - # of Bulbs per Fixture
  - Fixture Wattage

## BUILDING SYSTEMS — Plumbing

### PLUMBING

- ◆ Grease and/or Sand & Oil interceptor: See Wastewater — Interceptor section.
  - Calculations for interceptor sizing — *per current adopted edition Idaho State Uniform Plumbing Code (IPC)*
- ◆ Sewer connection location & elevation (elevation should match Civil/Site design)
- ◆ Type & Location of any Reduced Pressure/Backflow Device(s)
- ◆ Piping materials and calculations for Gas, Water, Sewer, etc.
- ◆ Water line piping layout including Drain/Waste/Vent piping layout

**\*\*\*Fire Sprinkler & Fire Alarm Plans to be submitted to the State of Idaho for Review\*\*\***

### COMCHECK ENERGY ANALYSIS

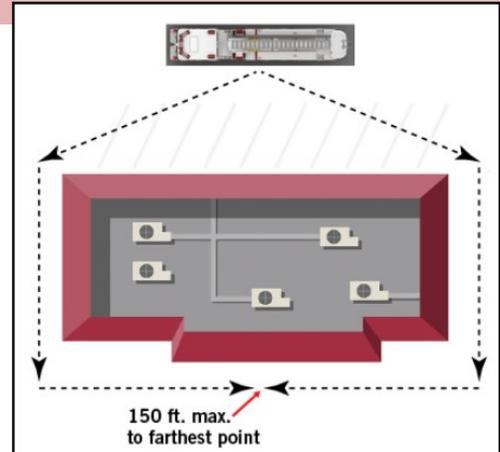
- ◆ Prepared by an Idaho Licensed Architect or Engineer.
  - Can be prescriptive or performance approach.
- ◆ Envelope, interior and exterior lighting & mechanical compliance worksheets.

# FIRE PROTECTION & EMERGENCY SERVICES

## HOSE ACCESS

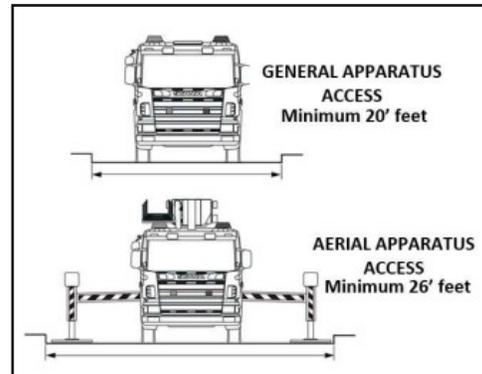
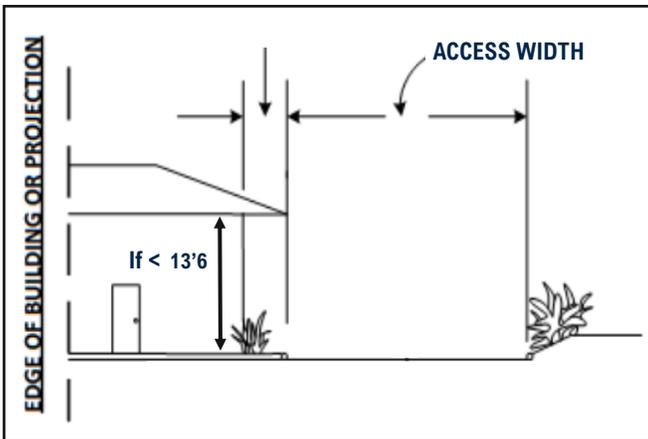


- ◆ Access **all** portions of building exterior from a distance of  $\leq 150$  feet with 360 degree fire hose access
- ◆ Multiple structures on 1 parcel
  - » Include all portions of all structures
- ◆ Inspected by *Fire Department* 208-735-7338



Route of Travel Around a Building

## FIRE APPARATUS ACCESS



- ◆ **Fire Apparatus Access**
  - » Road Widths — See *General Apparatus Access*
  - » Driveway Widths for Fire Access — See *City Code Section 6-1-1 (F)*
- ◆ Road Base — See *TFSD-305* — Detail Subject to Change Verify with Current Adopted Documents
- ◆ **Weight Capacity**
  - ◆  $\geq 75,000$  pounds
  - Inspected by Fire Department 208-735-7338
- ◆ Drive Length  $\geq 500'$  »» Minimum width = 26'
- ◆ Vertical Clearance — *Minimum Height of 13'6"*
- ◆ **Fire Turnaround Minimums**
  - » Drive  $\leq 150$  feet = Provide a Fire Turnaround
  - Inspected by Fire Department 208-735-7338



# FIRE PROTECTION & EMERGENCY SERVICES

## ADDRESS [City Code 6-1-1-F.3.h.](#)

### Permanent Address Signage

- **City Assigned Address** — Verify with Engineering
- Building elevations; Show placement & size of Address
- Address Number Size & Location:
  - Commercial = 12" Minimum per Authority Having Jurisdiction
  - Verify with Fire Marshal
- Address Number Location: High and Right per [City Code 6-1-1-F.3.h.d.](#)
- Building Distance from City Addressed Roadway  $\geq$  200 feet
  - *May Require Monument Signs. Contact Fire Marshal for verification.*

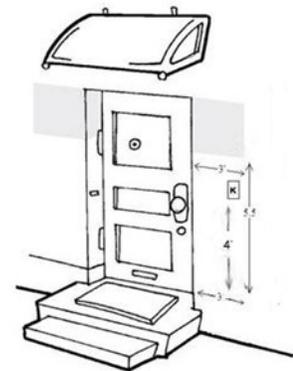


### BOLLARD PROTECTION — *When Needed*

- Gas Meters
- Hydrants
- Sprinkler System — Building Exterior

### GATE & BUILDING ACCESS

- [Gates](#) — Manual or Automatic
  - ⇒ [Knox Box for Access](#)



### SPECIAL CONSIDERATIONS

- Type H Occupancies
- Classified Areas; per NFPA/NEC
- High Piled Storage Areas

# FIRE PROTECTION & EMERGENCY SERVICES

## FIRE PROTECTION

\*\*\*Fire Sprinkler & Fire Alarm Plans to be submitted to the State of Idaho for Review\*\*\*

### Fire Suppression Systems



- ♦ Fire Sprinkler Systems:
  - Sprinkler System Details; **Underground & Aboveground**
    - Pipe Type, Thrust Blocks, Verifiable Visual Evidence/Inspection during Construction
  - Per NFPA 13 — Flow Calculations must be current (*within the last 12 months*).  
⇒ [Modeling Request Link](#)
  - See **Potable Water** for Underground Sprinkler Requirements.
- ♦ Fire Riser Room — Provide Details
  - Suppression Line piping; Do not exceed 10' inside of the building
- ♦ Post Indicating Valve (PIV) & Wall Post Indicating Valve (WPIV)

### FIRE FLOW REQUIREMENTS — Designer Responsibility

- ♦ [IFC Appendix B](#)
    - » Identify Construction Type: V-B, I-A, Etc.
    - **Table B105.1(2)**
      - Identify Base Fire Flow (GPM) & Flow Duration
    - **Table B105.1(1) OR Table B105.2**
      - Sprinklers?
      - No Sprinklers?
- ~ Sprinklers can cut fire flow needed by up to 75% ~

### AVAILABLE FLOW CAPACITY—Request Flow Spot Check

Ensure adequate [water supply!](#)

- ♦ For Available Water Flow Rate, Submit a Request; Two Ways to Obtain Flow:
  - » Water Modeling — by City contracted Engineering Consultant
    - Modeling Request Link  
⇒ <https://forms.tfid.org/Forms/modeling>
    - *If you are adding or relocating any Water Main Lines, note that in your request. A full model may need to be completed.*
    - *A spot check has a flat fee. See [Master Fee Schedule](#). If a full model is needed, the cost is determined by the time the consultant spends on the request.*
  - » Field Flow Test — Coordinate with City Water Department

# FIRE PROTECTION & EMERGENCY SERVICES

## FIRE PROTECTION

\*\*\*Fire Sprinkler & Fire Alarm Plans to be submitted to the State of Idaho for Review\*\*\*

### Fire Hydrants & Water Supply

- Fire Hydrants & Water Supply to Hydrants: Follow [Current Adopted Edition of ISPWC](#) & [City of Twin Falls Revisions](#) thereto
- Ensure adequate water supply for firefighting.
  - Quantity of Hydrants
  - Spacing Between Hydrants
  - Underground New Construction



**Following Details Subject to Change** — *Verify with Current Adopted Documents:*

- Hydrants to be 2 Piece with 360-degree Adjustable Head — *TFSD Section 403 Subsection 2.2*
- Red with White Caps — *TFSD Section 403 Subsection 2.3*
- Hydrant Valve Lid; Red & Branded 'Fire'
- Require 5" Storz Quick Coupling Connection on Pumper Nozzle — *TFSD Section 403 Subsection 2.2*
- Hydrant Service Line not to exceed 150' from point of connection — *TFSD Section 403 Subsection 3.1*



*(typically powder-coated)*

### Other

- Fire Alarm Systems:
  - Identify Location & Type
- Smoke Control Systems



- Fire Extinguishers:
  - Identify Location & Type
- Pull Stations for Hoods:
  - Identify Location & Type



## FIRE RESOURCES

- National Fire Protection Association ([NFPA](#))
- Idaho State Fire Marshal ([ISFM](#))
- International Fire Code ([IFC](#))
- Idaho Administrative Procedures Act ([IDAPA](#))

# IRRIGATION — Pressure Irrigation & Gravity Irrigation

## GENERAL IRRIGATION

- ◆ See City of Twin Falls, Municipal Code: Title 7 Chapter 8 Section 14 for Water Conservation information.

## GRAVITY IRRIGATION

- ◆ Location, Size & Flow Direction: Ditches, Canals/Coulees, etc.
- ◆ Label Correctly i.e. drainage/waste ditch, Twin Falls Canal Company (TFCC), etc.
- ◆ Point of Entry and Point of Exit must remain the same to not disrupt historic flows.
- ◆ Gravity Irrigation cannot be in Right-of-Way unless making perpendicular crossings.

## PRESSURE IRRIGATION

- ◆ Existing and/or Proposed Pressure Irrigation (PI):
  - Location & Size: Main Lines, PI Service Lines, Meters, Valves, etc.
- ◆ Access to Pressure Irrigation allowed only if property water shares are available.
- ◆ Transfer of Water Shares — *if applicable*.

# LIFE SAFETY

These sheets encompass a wider range of safety considerations. *Which may include fire protection.*

Focus on Human Safety: Primary focus = ensuring Safe Evacuation of Occupants during Emergencies

- Emergencies such as;
  - fires,
  - earthquakes,
  - or other disastrous scenarios

## BUILDING DEPARTMENT REVIEW

- ◆ Key Elements:
  - Egress Paths (including stairs, corridors, and doors)
  - Emergency Exits
  - Accessibility
  - Emergency Lighting

## FIRE DEPARTMENT REVIEW

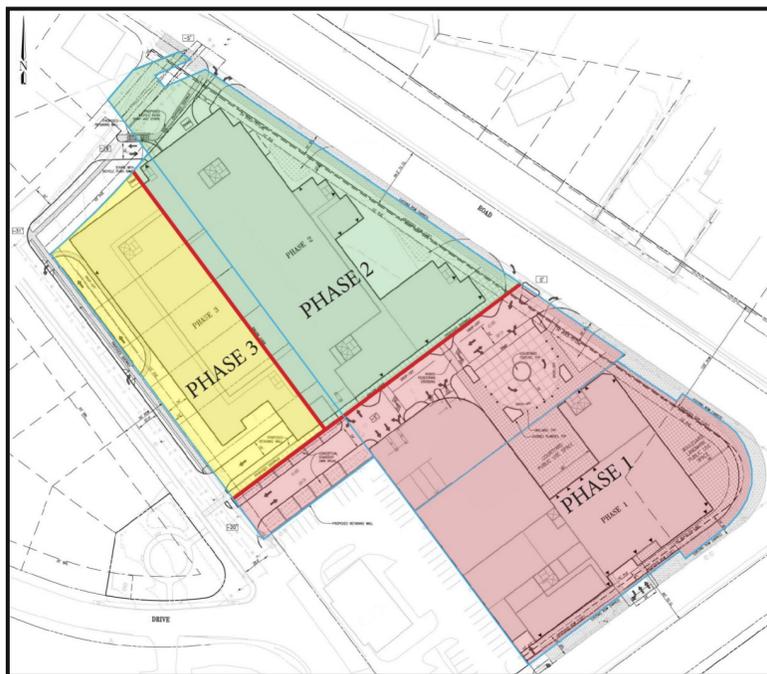
- ◆ Key Elements:
  - Fire Alarm Systems
- ◆ Hoods; Also needs to be included on Mechanical & Electrical Plans
- ◆ Safety Data Sheets (SDS):
  - ◆ Required when any chemicals/hazardous materials may be present. Include location and quantity of materials.



# PHASING

## SITE PHASING WITH MULTIPLE STRUCTURES<sup>1</sup>

- ◆ Phasing Plan required when there are multiple buildings if applicant plans to pursue occupancy for each building separately (while still under construction as a whole).
- ◆ Key elements to include:
  - ◆ Separate Phasing Plan Sheet:
    - ◆ Existing Site Conditions
    - ◆ Proposed Building Locations/Footprints
    - ◆ Phasing Sequence
    - ◆ Temporary Infrastructure (if needed based on phase separations)
    - ◆ Construction Zones — All items needed for the structure to meet codes and standards independently.
  - ◆ Phasing Timeline



## BUILDING CONSTRUCTION PHASING

- ◆ Set a meeting with City staff if you would like to phase building construction.

# POTABLE WATER

## GENERAL

- ◆ Existing and/or Proposed Size & Location:
  - ◆ Water Main Lines,
  - ◆ Water Service Lines,
  - ◆ Valves,
  - ◆ [Meters](#), etc.
- ◆ ALL ACCESSIBLE fire hydrants within a 400 foot radius centered on the building.
- ◆ Hydrants Required to Serve the Building
  - ◇ Construction Type » Fire Flow Required (GPM for #-hours) » # of Hydrants — *Per current adopted edition of IFC*
- ◆ Any new hydrants, as needed. — *If unsure, check with the Fire Marshal.*
  - ◇ Constructed per TFSD-404. Call for Inspections; Ductile Iron, Tracer Wire, Thrust Blocks, Etc.
- ◆ Fire Suppression/Sprinkler Line Location & Size; per Accepted Idaho State Fire Marshal (ISFM) Plans
- ◆ Call Outs for ALL connections and corresponding details.
- ◆ Backflow Preventer, as needed.
- ◆ [Backflow Information](#)
  - ⇒ COMMON SITUATIONS WHERE BACKFLOW PREVENTERS ARE NECESSARY:
    - \* High-hazard situations: Industrial processes, Commercial kitchens, Fire protection systems, etc.
    - \* Medium-hazard situations: Swimming pools, Fountains, Car washes, etc.
    - \* Low-hazard situations: Hose bibs, etc.
- ◆ Fees must be paid at time of Permit Issuance
- ◆ Water modeling — *as required.*
  - ◆ Verify Adequate Water supply,
  - ◆ Available Fire Flow,
  - ◆ Potential Off-Site Improvements, etc.
- ◆ If you would like to request modeling for Available Fire Flow Rate, Submit a Request:
  - » Water Modeling — *by City contracted Engineering Consultant*
    - Modeling Request Link
      - ⇒ <https://forms.tfid.org/Forms/modeling>
    - If you are adding or relocating any Water Main Lines, note that in your request. A full model may need to be completed.
    - A spot check has a flat fee ([Master Fee Schedule](#)). If a full model is needed, the cost is determined by the time the consultant spends on the request.

# POTABLE WATER

## SERVICE CONNECTIONS

- Line Connection Planned Location & Line Size Requested
- Service Connection Standard Drawings: 1" TFSD-401, 1.5" TFSD-402, 2" TFSD-402A
- Contact Water Department for 2" and larger connection bodies
- Idaho State adopted Plumbing Code
- Backflow Devices

## WATER MAIN — FIRE SUPPRESSION CONNECTION



- Per Accepted Idaho State Fire Marshal (ISFM) Plans:
  - ⇒ Fire Suppression Line Location
  - ⇒ Fire Suppression Line Size
- Fire Line Connection Standard Drawings:
  - 2" TFSD-404A, ≥ 4" TFSD-404B
- Find a Licensed Idaho [Fire Sprinkler Contractor](#)

## WATER MAIN — LOOP

- Any Public Main Lines and/or Structures:
  - Required: Recorded  $\geq 7.5'$  off Each Edge of Pipe Easement (15' Wide Minimum)
    - Easement to be centered on main line.
    - Documentation for an Easement to be completed by a Licensed Surveyor or Engineer
    - Requires:
      - Legal Description
      - Exhibit
      - Easement Document
- What is considered Public?
  - Hydrants
  - Main Lines
  - Service Line & Meter — *from Back of Meter to Main Line connection* **only**



# POTABLE WATER

## MID TO HIGH WATER USAGE

- ◆ Food Processing & Manufacturing:
  - ◇ Beverage Plants: (breweries, wineries, soft drink bottling)
  - ◇ Food Processing Plants: (meat packing, dairy, fruit/vegetable processing)
  - ◇ Restaurants & Hotels: (large kitchens, laundry facilities)
  
- ◆ Industrial:
  - ◇ Manufacturing Plants: (depending on the process, e.g., cooling systems, chemical washing)
  - ◇ Data Centers: (large cooling systems for servers)
  
- ◆ Hospitality & Recreation:
  - ◇ Hotels & Resorts: (large pools, landscaping, guest rooms)
  - ◇ Water Parks & Amusement Parks: (water rides, pools, landscaping)
  - ◇ Golf Courses: (irrigation)
  
- ◆ Healthcare:
  - ◇ Hospitals: (sterilization, patient care, laboratories)
  
- ◆ Other:
  - ◇ Car Washes
  - ◇ Laundromats

If you fall in any of these categories, please reach out about Water Modeling.

\*All content to comply with current adopted edition of [Idaho Standards for Public Works \(ISPWC\)](#) and [City of Twin Falls Revisions thereto](#).

# SITE — Layout & Grading

## LAYOUT

- ◆ Property Lines: Bearings & Distances
- ◆ Location of new proposed building pad and existing structure footprints.
- ◆ Dimension ALL structures: Length, Width, etc.
- ◆ Dimension Structure to Property Lines
- ◆ Dimension Distances between Structures
- ◆ Lot Dimensions:
  - Minimum building setbacks from property lines, roadway centerline to property line, etc.
- ◆ Utilize a legend to clearly designate different line types.
- ◆ All Existing Easements
- ◆ Proposed Easements:
  - Public Mains & Structures:
    - ⇒ 15-foot wide (minimum) easement, centered
- ◆ Existing & Proposed:
  - Easement Use
  - Easement Intended User
- ◆ Provide Legal Description and/or Record of Survey
- ◆ Denote any Special Conditions from the Following: SUP, PUD, ZDA, HPC, etc.

## GRADING

- ◆ Cover for Service Lines & Main Lines?
- ◆ Utilize a legend to clearly designate different line types.
- ◆ Profile View; Finished Floor Elevations (FFE) & Finished Grade (FG)
- ◆ Profile View; Main Line Extensions, Subsurface Structures, etc.

## DETAILS

- ◆ Drainage:
  - Subsurface
  - Surface
  - Structures
  - Etc.
- ◆ Retaining Wall Details
- ◆ Pavement Section — Denote public or private
- ◆ Cover for Service Lines
- ◆ Cover for Main Lines

## CANYON PROXIMITY

- ◆ Canyon Rim Delineation — *if applicable*
- ◆ Geotechnical Report Required if Building within 100 feet of delineated canyon rim.
  - Canyon Rim delineation completed by Twin Falls City Engineering Department. 208-735-7248
  - Closest allowable distance to rim = 50 feet

# SITE AMENITIES

## SOLID WASTE MANAGEMENT

- ◆ Identify location; verify truck access to receptacle
- ◆ Denote screening type

## DRIVEWAYS & SURFACE LEVEL PARKING

- ◆ Fully Dimensioned Parking lot layout:
  - access aisles and direction of traffic flow
  - turning radii
  - parking spaces and terminus/islands
  - accessible spaces with route to entrance
  - drive-through lanes and stacking spaces
  - escape lanes
- ◆ Parking Requirements — [See City Code Title 10](#)
- ◆ Fire Department all weather access — [See Fire Protection & EMS Section](#)

## PARKING STRUCTURES

- ◆ Carports & Other Parking Structures
  - Cannot be located over any easements
  - Cannot be located in Right-of-Way

## LANDSCAPING

- ◆ Required Landscape Area Calculations
  - 1 Tree per 500 square feet
  - 1 Shrub per 100 square feet
- ◆ Location of each Landscape Area
- ◆ Surface Cover Type: grass, mulching, xeriscaping, etc.
- ◆ Identify any: berms, trees, bushes, fencing, retaining walls, etc.
- ◆ Retaining Walls  $\geq$  4feet – supply structural calculations.
- ◆ Identify Watering Source: sprinkler system connected to PI or GI, drip system, etc.

## LIGHTING

- ◆ Exterior lighting fixtures with lumens per foot — [See City Code Title 10](#)

# STREETS & RIGHT-OF-WAY

## RIGHT-OF-WAY IMPROVEMENTS

- ◆ Right-of-Way may need to be dedicated.
  - See [Master Transportation Plan](#): page 87
- ◆ Existing and/or Proposed
  - Public Sidewalk
  - ADA Ramps
  - Curb & Gutter
- ◆ Accessible route of travel from Right-of-Way to Building Entrance
- ◆ [Right-of-Way Permit Application](#)

## PROPERTY ENTRANCE

- ◆ Existing & Proposed Fully Dimensioned Roadway Access
  - Location
  - Approach Detail — Width, Radii, etc.
  - Denote Demolition of Existing — if applicable
- ◆ Dimension Approach to Intersections — *Contact Engineering Department if within 150 feet of Intersection*
- ◆ Approach Width to Comply with TFSD-710
- ◆ Label connecting roadways for Fire/EMS Access

## RIGHT-OF-WAY/PUBLIC PARKING

- ◆ Parking Spaces Created in Right-of-Way are classified as 'Public Parking'
  - These spaces will not be counted for any required parking for Planning & Zoning purposes.
- ◆ If you choose to construct parking within Right-of-Way — *Contact Engineering Department for requirements and approval to do so.*

\*All content to comply with current City of Twin Falls adopted edition of [Idaho Standards for Public Works \(ISPWC\)](#) and [City of Twin Falls Revisions thereto](#).

# STRUCTURAL

– *Stamped by Idaho Licensed Design Professional Performing the Work*

## FOUNDATION PLANS

- ♦ Structural Steel Reinforcing
- ♦ Tie Downs
- ♦ Special Inspection Criteria

## STRUCTURAL PLANS

- ♦ Roof Framing Plan
- ♦ Floor Framing Plan
- ♦ Header, Beam & Lintel Schedules
- ♦ Strap Locations
- ♦ Structural Details
- ♦ Shear Walls & Shear Wall Schedule
- ♦ All other Structural Information
  - As indicated in Calculations
  - OR As Required by City Building Official
- ♦ Any special details (i.e., storage above restrooms)
- ♦ Foundation, Structural & Shear Engineering Calculations [Supplemental Information] –
  - Stamped & Signed by an Idaho Licensed Engineer or Architect
  - Exception: Prescriptive Parameters; IBC Section 2308, Design Required on Plans
  - Required for All New Construction & Additions
- ♦ Metal Buildings: Plans & Engineering Calculations
  - Required for Prefabricated Metal Buildings; Including Concrete Footing Details
  - Deferred Submittal Not Accepted
- ♦ Modular Buildings: Plans & Engineering Calculations
  - Required for the foundation design of all modular buildings.
  - Modular buildings are required to have Idaho Division of Public License approval.
- ♦ **Statement of Special Inspections:** per Chapter 17 of the IBC (1704.1.1).
- ♦ **Special Inspections** Final Report [Supplemental Information] – Documenting corrections noted in inspections.
  - Submitted by applicant prior to construction.

# STRUCTURAL

– *Stamped by Idaho Licensed Design Professional Performing the Work*

## STAIR PLANS/DRAWINGS

- ◆ Provide Floor Plan Design & Elevations for All New Stairs; Interior & Exterior
- ◆ Rise/Run
- ◆ Stringers — Open, Closed, Stringerless, etc.
- ◆ Handrails & Guards
- ◆ Any Intermediate Landings
- ◆ Ceiling Height Above Nosing
  - Generic detail not accepted. Provide actual drawings of stairs.
  - This cannot be a deferred submittal.

# WASTEWATER

## INTERCEPTORS

### Interceptor Types

#### Fats, Oils, Grease:

Any restaurant or food service establishment requires an interceptor. Food industry interceptors are typically connected to Sanitary Sewer.

A maintenance and cleaning schedule must be provided for any type of interceptor. Interceptors should be inspected, cleaned and repaired regularly. Shall be located to be easily accessible for cleaning and inspection.

#### Sand & Oil — Building Interior:

Typically provided in auto repair/mechanics shops, car washes, etc. and connected to Sanitary Sewer.

*Questions:*

*Connections to Sanitary Sewer contact **BSD**.*

#### Sand & Oil — Storm Water:

Typically provided for subsurface retention. Not connected to Sanitary Sewer.

*Storm water related interceptors; contact **Engineering**.*

- ◆ Grease Interceptors Located Outside of Building
  - Site Plan — *Location & Orientation*
  - Invert Elevation
  - Sizing Calculations
  - Detailed Design OR Reference TFSD-516

## SANITARY SEWER

- ◆ Existing and/or Proposed Size & Location:
  - » Sanitary Sewer (SS) Main Lines,
  - » SS Service Lines,
  - » Manholes,
  - » Clean-Outs,
  - » Sand and Oil Interceptor for applicable entities,
  - » Grease Interceptor for all food industries, Etc.
- ◆ Sewer model: As required — *Check with Engineering Department & [Wastewater Master Plan](#)*
- ◆ Existing or Proposed Easements:
  - » Public lines must have a recorded easement, 7.5-feet from edge of pipe off each side (15-foot minimum), centered on main.
- ◆ Industrial Wastewater Survey — *See [Appendix](#)*
- ◆ Sewer Capacity Fee Worksheet — *See [Appendix](#)*

\*All content to comply with current City of Twin Falls adopted edition of [Idaho Standards for Public Works \(ISPWC\)](#) and [City of Twin Falls Revisions thereto](#).

# WASTEWATER

## STORM WATER/DRAINAGE

- ◆ Existing and/or Proposed Facilities
- ◆ Storm Conveyance Lines/Pipes;
  - Location
  - Size
  - Pipe Materials
  - Connection Details
- ◆ Storm Structures; Locations & Detail Call-Outs
  - » Structures Include but are not limited to:
    - Catch Basins
    - Storm Manholes
    - Sand & Oil Interceptors
    - Monitor Wells
    - Junction Boxes
    - Scuppers
- ◆ Existing Grade (EG), Finished Floor Elevations (FFE) & Finished Grade (FG)
- ◆ Historic Flow Directions
- ◆ Proposed Flow Directions
- ◆ 100-yr overflow Route and/or Device
- ◆ Retention/Detention Basins;
  - Location
  - Size [Length, Width, Depth & Side Slopes]
  - Detail/Call-Out Required
- ◆ Subsurface Retention Areas — *i.e. Seepage Beds, Dry Wells, etc.*;
  - Location
  - Size [Length, Width, Depth]
  - Detail/Call-Out Required
  - Detail Required for **each** Type/Shape/Size
  - Drain Rock; *Minimum Voids 40%*
- ◆ Tributary Areas — *Plan View*
  - » Differentiate by Colored Area or Unique Line Type
- ◆ Storm Retention Calculations:
  - » To be Designed & Stamped by an Idaho Licensed Engineer
- ◆ Identify any Waterways and/or Waters of the US (WOTUS)
- ◆ FEMA Flood Plain Delineation
  - » Required if within 100-year or less flood zone.
  - » See [here](#) for FEMA informational document links.

\*All content to comply with current City of Twin Falls adopted edition of [Idaho Standards for Public Works \(ISPWC\)](#) and [City of Twin Falls Revisions thereto](#).

# APPLICATION

## SECTION III

*\*Blue Text is Hyperlinked Externally & Yellow Text is Hyperlinked within this document.*

# APPLICATION TYPES

Required Improvements: *Required Improvements are a condition of any building permit. See Municipal Code Title 10 Chapter 11.*

## TYPE: NEW COMMERCIAL

SUBTYPE:

NEW COMMERCIAL

ADDITION

SHELL BUILDING

## TYPE: NEW MULTI-FAMILY

## TYPE: REMODEL\*

SUBTYPE:

REMODEL

TENANT IMPROVEMENT

CHANGE OF OCCUPANCY

*\*If a new water main connection or sewer main connection is needed; a civil site plan will be required. All work must comply with the Current Adopted Edition of ISPWC and City of Twin Falls Revisions thereto.*

*ALL existing and new fire suppression systems and fire alarm plans must be submitted to the State Fire Marshal Office for approval. Please provide the approved fire line size for new tap connections. Check with local Twin Falls Fire Department (TFFD) Fire Marshal for any local requirements prior to submittal.*

# APPLICATION TYPES — New

## New Commercial

### Any New Construction

*Exemption Only for Detached Accessory Buildings <120 square feet*

- » May include site work, parking layout, etc.

## Addition

### LEVEL I

#### Level I:

Expansions less than or equal to 25% of existing building,  
Or total increase in square footage is less than or equal to 10,000 square feet;  
Improvements from City of Twin Falls Code Section 10-11-3 through 10-11-6 are not required.

### LEVEL II

#### Level II:

Expansions greater than or equal to 25% of existing building,  
But less than or equal to 25% of combined square footage of all existing buildings;  
Improvements from City of Twin Falls Code Section 10-11-3 through 10-11-6 are required for the expanded area only.

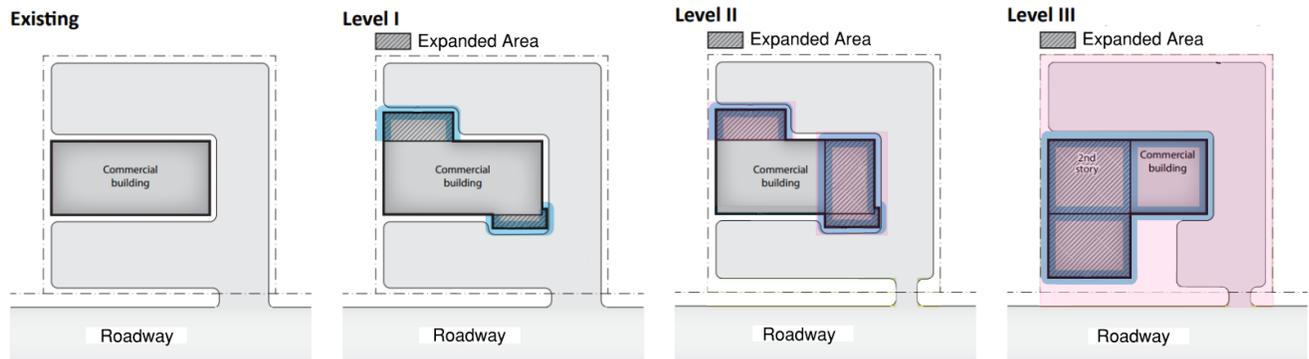
### LEVEL III

#### Level III:

Expansions greater than or equal to 25% of combined square footage of all existing buildings,  
Or greater than or equal to 10,000 square feet;  
Improvements from City of Twin Falls Code Section 10-11-3 through 10-11-6 are not required.

*Note that for additions and/or remodels, other 'Required Improvements' in City of Twin Falls Code Section 10-11-7 through 10-11-10 are based on site specific data.*

*For any questions, set a pre-development [Project Coordination Meeting](#).*



## Shell Building

FULL DESCRIPTION COMING SOON. See Appendix for [existing handout](#).

## APPLICATION TYPES — Multi-Family

### 3+ Units

Each structure requires a separate building permit with a separate set of documents with Architectural, Structural, Mechanical, Electrical, and Plumbing for each specific building. This is applicable for multiple buildings on one lot or a single structure on one lot.

Submittals shall not be combined packages for multiple buildings. Combined plans are not acceptable.

Multiple structures on one lot may share Civil Engineering drawings and submit via a Site Only Permit.

# APPLICATION TYPES — Remodel

## Remodel

Permits are required for:

- » Building, Moving or Removing Walls,
- » Installing > 2 Sheets of Sheetrock,
- » Revised or New Grid Ceiling Systems,
- » Reconfigured Spaces,
- » Change of Use of Space,
- » Change of Occupancy of space,
- » Adding or Removing Doors and/or Windows,
- » Etc.

## Tenant Improvement

A Tenant Improvement permit is required to make changes to the interior space of an existing nonresidential structure but does not include creating any new floor area or changing the use of a space.

May include structural work and/or exterior changes but may not include any new floor area or building additions. If scope of exterior changes is extensive, additional reviews, fees and/or permits may be required.

## Change of Occupancy

Changing occupancy use classification of existing structures can be relatively painless following these steps.

- ◆ Check to make sure the zoning allows the type of use you are proposing
- ◆ Apply for a Tenant Improvement permit
- ◆ Commission a licensed architect and/or engineer to prepare the following submittals:
  - » CODE ANALYSIS – Must contain Code Year/Type of Code Based on Current Adopted Codes, Type of Construction, Occupancy Classification & Separation, Actual/Allowed Area, Actual/Allowed Height, Actual/Allowed Stories, Occupant Load, Exits Required/Provided, Required Fire Resistance of Exterior Walls, Required Opening Protection, Fire Resistive Construction Requirements, and Special Inspections Required
  - » SITE PLAN – Showing all parking and landscaping improvements, drainage retention structures, property lines, all structures, accessible routes, and location of accessibility ramp
  - » FLOOR PLAN – Showing a dimensioned plan of the entire building, including the accessible restroom, and proposed uses for each space.
- ◆ All proposed projects are subject to the requirements of all adopted codes and this is not intended to be all-inclusive of those requirements.

\*Please remember that the change in use does trigger certain life safety, structural safety, and Americans with Disabilities Act standards.

\*Other issues related to the structure, or the land use designation of the property may be considerations, depending upon the proposed use and/or any special zoning requirements specific to property.

## APPLICATION TYPES — Site Only

### Site Only Criteria

*COMING SOON.*

# ELECTRONIC SUBMITTAL FORMAT REQUIREMENTS

~ NON-COMPLIANCE WILL RESULT IN A REJECTED APPLICATION ~

## FILE FORMAT

- ♦ All documents shall be submitted as a PDF.
- ♦ **Only vector files shall be submitted. Files containing raster or scanned content are not accepted.**
- ♦ All text shall be searchable.
- ♦ PDF files shall not be restricted or locked.
- ♦ Maximum file size: *250MB*
- ♦ PDF packages/portfolios are not accepted.
- ♦ Design Professionals must Digitally Sign all submission files, see State Statutes regarding digital signature requirements.
  - \* *Document signatures may be digital or electronic signature.*

## PLANS

- ♦ Properly labeled **PDF bookmark for each sheet**; containing Sheet Number & Sheet Title.
  - » *For Guidance; See Appendix Sheet 2*
- ♦ Plans: To be submitted as one (1) file.
  - » *Supplemental information shall be separate*
- ♦ Sheet Size:
  - » (24" x 36") OR (30" x 48")
  - » With a fixed scale: i.e. 1/4" to 1'
- ♦ Title Block:
  - » Display last date plan set was saved.
- ♦ Reference numbers shall conform to American CAD standard. All sheet numbers shall be unique.
- ♦ Proper sheet and document orientation is required.
  - » **Files shall not need rotation.**
- ♦ New pages included must follow the sequence of the original submittal.
- ♦ Resubmittals:
  - » Plan sheet labels shall **remain consistent** throughout review.
    - \* *Review software will remove and replace revised pages based on reference label.*

## SUPPLEMENTAL INFORMATION

- ♦ Large document files shall be submitted separately for ease of review.
- ♦ Files shall be separated by category. (*i.e. Structural Calculations, Drainage Calculations, FEMA Cert., etc.*)

# ELECTRONIC SUBMITTAL FILE NAMING REQUIREMENTS

~ NON-COMPLIANCE WILL RESULT IN A REJECTED APPLICATION ~

## FILE NAMING

- ◆ **File Name:**
  - » Describe file content and Submission number. (i.e. 'architectural plan set – rev01.pdf')
- ◆ **Consistent File Name:**
  - » Submission # shall be updated accordingly. (i.e. rev01, rev02, etc.)

<b>DISCIPLINE</b>	<b>PREFIX</b>	<b>SHEET # EXAMPLE</b>	<b>SHEET TITLE EXAMPLE</b>
ARCHITECTURAL	A	1.01	e.g. LOWER FLOOR
CIVIL	C	1.01	SHEET DESCRIPTION
DEMOLITION	D	1.01	SHEET DESCRIPTION
ELECTRICAL	E	1.01	SHEET DESCRIPTION
FIRE PROTECTION	FP	1.01	SHEET DESCRIPTION
GENERAL	G	1.01	SHEET DESCRIPTION
ILLUMINATION	I	1.01	SHEET DESCRIPTION
LANDSCAPE	L	1.01	SHEET DESCRIPTION
LIFE SAFETY	LS	1.01	SHEET DESCRIPTION
MECHANICAL	M	1.01	SHEET DESCRIPTION
PLUMBING	P	1.01	SHEET DESCRIPTION
PHASING	PH	1.01	SHEET DESCRIPTION
STRUCTURAL	S	1.01	SHEET DESCRIPTION

# SUBMITTAL CONTENT — General Submittal Content

## MINIMUM SUBMITTAL ITEMS — Applicable to New Commercial & Multi-Family

~ DUE AT TIME OF APPLICATION ~

<b>REQUIRED ITEMS<sup>1</sup>:</b>			
<b>Required at time of Submittal.</b> Each item must be addressed.			
<b>Completed &amp; Signed Application<sup>1</sup> – Document</b>			
<b>Construction Plan Sheets<sup>1</sup> – Plans</b>			
SHEET PREFIX	DISCIPLINE	SHEET PREFIX	DISCIPLINE
G	Contact Information/Cover/General Notes	M	Mechanical
C	Civil	P	Plumbing
D	Demolition — <i>As Needed</i>	PH	Phasing Plan <sup>2</sup>
A	Architectural	S	Structural
E	Electrical	L	Landscape
<b>Calculations<sup>1</sup> – Document</b>			
<b>Supplemental Information<sup>1</sup> – Document</b>			
Signed <b>Affidavit of Legal Interest</b> — <i>If Owner ≠ Applicant</i> — See <a href="#">Appendix</a>			
<b>Development Agreement</b> — <i>Required for Public Infrastructure</i> — See <a href="#">Appendix</a>			
<b>Wastewater Discharge Survey</b> — <i>Industrial Only</i> — See <a href="#">Appendix</a>			
<b>Sewer Capacity Fee Worksheet</b> — See <a href="#">Appendix</a>			
<b>PREFERRED AS STANDALONE SHEETS<sup>3</sup>:</b>			
<b>Construction Plan Sheets – Plans</b>			
SHEET PREFIX	DISCIPLINE		
FP	Fire Protection		
LS	Life Safety		
I	Site Lighting/Illumination		

**LIST IS NOT ALL-INCLUSIVE — For Final Approval See Section II for Content items.**

<sup>1</sup>Required

<sup>2</sup>If Phasing of Multiple Structures is Desired

<sup>3</sup>Recommended for increased review efficiency and speed.

# SUBMITTAL CONTENT — General Submittal Content

## MINIMUM SUBMITTAL ITEMS — Applicable to Remodel Applications

~ DUE AT TIME OF APPLICATION ~

### REQUIRED ITEMS<sup>1</sup>:

**Required at time of Submittal.** Each item must be addressed.

Completed & Signed [Application](#)<sup>1</sup> – Document

Construction Plan Sheets<sup>1</sup> – Plans

SHEET PREFIX	DISCIPLINE	SHEET PREFIX	DISCIPLINE
G	Contact Information/Cover/General Notes	E	Electrical
C	Civil — <i>Only for New Fire Suppression, Water, or Sewer Connections</i>	M	Mechanical
D	Demolition — <i>As Needed</i>	P	Plumbing
A	Architectural	S	Structural

Calculations<sup>1</sup> – Document

Supplemental Information<sup>1</sup> – Document

Signed [Affidavit of Legal Interest](#) — *If Owner ≠ Applicant* — See [Appendix](#)

[Development Agreement](#) — **Required for Public Infrastructure** — See [Appendix](#)

[Sewer Capacity Fee Worksheet](#) — See [Appendix](#)

### PREFERRED STANDALONE SHEETS<sup>3</sup>:

Construction Plan Sheets – Plans

SHEET PREFIX	DISCIPLINE
FP	Fire Protection
LS	Life Safety

**LIST IS NOT ALL-INCLUSIVE — For Final Approval See Section II for Content items.**

<sup>1</sup>Required

<sup>2</sup>If Phasing of Multiple Structures is Desired

<sup>3</sup>Recommended

# APPLICATION EXAMPLES

## See Appendix for Each Application Example

- » **NEW COMMERCIAL APPLICATION**
- » **NEW MULTI-FAMILY APPLICATION**
- » **COMMERCIAL REMODEL APPLICATION**
- » **SITE ONLY APPLICATION**

# ADDITIONAL CONSIDERATIONS

## FEES

- ♦ [Master Fee Schedule](#)

## SUBMITTALS

- ♦ Deliver plans for approval to other agencies. Such as:
  - ♦ Department of Environmental Quality (IDEQ) — SWPPP, NOI, etc.
  - ♦ Department of Water Resources (IDWR)
  - ♦ U.S. Army Corps of Engineers (ACoE)
  - ♦ Environmental Protection Agency (EPA)
  - ♦ Twin Falls Canal Company (TFCC)
  - ♦ South Central Public Health District (SCPHD)
  - ♦ State Fire Marshal (Fire Sprinklers & Alarms)

***Above list is not all-inclusive.***

- ♦ Coordination with other Third-Party Utilities:
  - ♦ Intermountain Gas
  - ♦ Northwest/Williams Pipeline
  - ♦ Idaho Power (IPCO)
  - ♦ Communication Companies; i.e. PMT, Lumen, TDS, etc.
  - ♦ Solid Waste Management; i.e. PSI, Western Waste, etc.

***Above list is not all-inclusive.***

**CONSTRUCTION**

**INCOMPLETE SECTION**

**SECTION IV**

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# POST-CONSTRUCTION ~OCCUPANCY~

## SECTION V

### INCOMPLETE SECTION

*\*Blue Text is Hyperlinked Externally & Yellow Text is Hyperlinked within this document.*

# APPENDIX

## SECTION VI INCOMPLETE SECTION

*\*Blue Text is Hyperlinked Externally & Yellow Text is Hyperlinked within this document.*

# METHODS FOR BOOKMARKING CAD SHEETS

## 1. Prepare Your CAD Drawing:

- » **Organize Sheets:** Ensure your CAD drawing has well-organized sheets with clear and concise sheet names (e.g., "Sheet A1 - Floor Plan," "Sheet A2 - Elevations").
- » **Sheet Set Manager (if using):** If you're utilizing AutoCAD's Sheet Set Manager, this tool can significantly streamline the process.

## 2. Publish to PDF:

### » **Method 1: Sheet Set Manager (Recommended)**

#### » **Within AutoCAD:**

- » In the Sheet Set Manager, select the sheets you want to publish.
- » Choose "Publish" and select "Create PDF."
- » **In the "PDF Publish Options" dialog box:**
  - » *Crucial:* Check the box for "Create Bookmarks for Sheets and Views."
  - » Specify the output location and file name.
  - » Adjust other PDF settings as needed (quality, resolution, etc.).
  - » Publish the PDF.

### » **Method 2: Direct Publishing (If Sheet Set Manager is not used)**

#### » **Within AutoCAD:**

- » Select the sheet you want to publish.
- » Go to "File" > "Plot" or "Publish."
- » Choose "Publish to PDF."
- » **Note:** This method may require manual bookmark creation in the PDF editor afterward.

## 3. Verify and Adjust Bookmarks (Optional):

- » **Open the PDF:** Open the generated PDF file in a PDF viewer (Adobe Acrobat Reader, etc.).
- » **Check Bookmarks Panel:** Navigate to the "Bookmarks" panel (usually on the left side).
- » **Verify Accuracy:**
  - » Ensure each sheet has a corresponding bookmark.
  - » Check that the bookmark names match the sheet names accurately.
  - » If necessary, edit or reorganize bookmarks within the PDF viewer.

## 4. (Optional) Enhance Bookmarks:

- » **Add Hyperlinks:** Create hyperlinks within the PDF to other documents, websites, or specific locations within the same PDF.
- » **Color-Code Bookmarks:** Use colors to categorize bookmarks (e.g., architectural, structural, electrical).
- » **Add Descriptions:** Provide brief descriptions for each bookmark to improve navigation.

### **Important Notes:**

- » **Sheet Naming Consistency:** Consistent sheet naming is crucial for clear and easy-to-navigate bookmarks.
- » **PDF Viewer Compatibility:** Bookmark functionality may vary slightly between different PDF viewers.
- » **Third-Party Tools:** Explore third-party plugins or scripts for AutoCAD that can automate bookmark creation and other PDF publishing tasks.

By following these steps, you can efficiently create PDF bookmarks for your CAD sheets, significantly improving navigation and accessibility for yourself and others who will be using the PDF files.



# CITY OF TWIN FALLS

Engineering Department  
P.O. Box 1907  
203 Main Ave E  
Twin Falls, ID 83303-1907

Phone: 208-735-7248  
Fax: 208-736-2641  
www.tfid.org

## AFFIDAVIT OF LEGAL INTEREST

State of Idaho )  
 ) ss  
County of Twin Falls )

I, \_\_\_\_\_  
(Printed Name)  
\_\_\_\_\_  
(Address) (City) (State)

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

**A.** That I am the record owner of the property described on the attached application, and I grant my permission to \_\_\_\_\_  
(Name)  
\_\_\_\_\_  
(Address) (City) (State)

to submit the accompanying application pertaining to that property.

**B.** I agree to indemnify, defend and hold the City of Twin Falls and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
(Signature)

Subscribed and sworn to before me the day and year first written above.

\_\_\_\_\_  
(Notary Public for Idaho)  
Residing at: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_

IMPROVEMENT AGREEMENT

for  
DEVELOPMENTS

This Agreement made and entered into this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by and between the CITY OF TWIN FALLS, State of Idaho, a municipal corporation, hereinafter called "City" and \_\_\_\_\_ hereinafter called "Developer" for the purpose of constructing certain improvements on property sought to be developed for the following Development \_\_\_\_\_.

WHEREAS, Developer desires to develop said real property for the following purposes:  
\_\_\_\_\_.

WHEREAS, the Developer is obligated to construct certain improvements pursuant to City Code Section 10-12-4.2, and;

WHEREAS, the Developer has committed to construct special features as part of the development, and;

WHEREAS, the City has certain policies, ordinances, rules and regulations governing the construction of public improvements, and;

WHEREAS, it is in the best interest of the City and Developer to clearly establish in one concise document the policies, ordinances, rules and regulations which apply to developments of the type contemplated herein.

WITNESSETH

That for and in consideration of the mutual promises, conditions, and covenants contained herein the parties agree as follows:

I.

City agrees: (1) to operate and maintain all approved streets, alleys, service roads, excluding state highways, constructed under the terms of this Agreement in any public rights-of-way and which are presently within or subsequently annexed into the City limits. (2) To operate and

maintain all approved public water lines, public pressure irrigation lines, public storm drainage lines, and public sewer lines constructed under the terms of this Agreement in any public rights-of-way or public easements and to provide water, sewer, and pressure irrigation service to the Developer's real property, subject to all ordinances, rules and regulations governing sewer, water service, and pressure irrigation. (3) To maintain non-pressure irrigation lines only where they cross City streets. (4) Public Storm Water facilities will be located in an exclusive stormwater easement. All other maintenance of non-pressurized irrigation lines is the responsibility of the Twin Falls Canal Company or the property on which the utility resides.

## II.

In lieu of the actual installation of required public improvements before recording of the final plat, the Council may permit the subdivider to provide a financial guarantee of performance in one (1) or a combination of the following arrangements for those requirements which are over and beyond the requirements of any other agency responsible for the administration, operation and maintenance of the applicable public improvement.

- a. Surety Bond
  1. Accrual - The Bond shall accrue to the City covering construction, operation and maintenance of the specific public improvement.
  2. Amount - the bond shall be in an amount equal to one hundred twenty percent (120%) of the total estimated cost for completing construction, including engineering design, inspection, and oversight, of the specific public improvements, as estimated by the Developer's Engineer and approved by the City Engineer.
  3. Term Length – The minimum term length shall be two (2) years or until the bond is released by the City, whichever is later.
  4. Bonding for Surety Company - The bond shall be with a surety company authorized to do business in the State of Idaho, acceptable to the City Council.
- b. Cash Deposit, Certified Check, Negotiable Bond, or Irrevocable Bank Letter of Credit.

1. Treasurer or Trust Company - A cash deposit or certified check shall be deposited by the City. After the improvements have been accepted, the funds will be reimbursed. A negotiable bond or an irrevocable bank letter of credit, shall be held by the City until the improvements are accepted.
  2. Dollar Value - The dollar value of the cash deposit, certified check, negotiable bond or irrevocable bank letter of credit shall be equal to one hundred twenty percent (120%) of the total estimated cost for completing construction, including engineering design, inspection, and oversight, of the specific public improvements, as estimated by the Developer's Engineer and approved by the City Engineer.
  3. Time - The time for the cash deposit, certified check, negotiable bond or irrevocable bank letter of credit shall be until all required improvements are completed and accepted by the City Engineer.
  4. Progressive Payment - In the case of cash deposits or certified checks, an agreement between the City and the subdivider may provide for progressive payment out of the cash deposit or reduction of the certified check, negotiable bond or irrevocable bank letter of credit, to the extent of the cost of the completed portion of the public improvement, in accordance with a previously entered into agreement.
- c. Trust Agreements.
1. Per the terms of the trust agreement.
  2. Trust agreement must be approved by City Council.

### III.

Developer agrees to retain a Professional Engineer, hereinafter called the Developer's Engineer, licensed by the State of Idaho to perform the following minimum Engineering Services in accordance with Title 10 Chapter 12 Section 4-1 of the City Code:

- a. Prepare a master utility plan showing the location of all existing and proposed utility lines to include but not be limited to sewer, water, gas, electricity, telephone, irrigation, pressure irrigation, and storm sewer.

- b. Prepare detailed plans and specifications for construction of all improvements required by this Agreement and shall include but not be limited to a complete set of construction plans, including profiles, cross-sections, specifications, and other supporting data, for all required public streets, utilities and other facilities. Such construction plans shall be based on preliminary plans which have been approved with the preliminary plat and shall be prepared in conjunction with the final plat. Construction plans are subject to approval by the responsible public agencies. All construction plans shall be prepared in accordance with the public agencies' standards and specifications. If improvements are not completed within two (2) years, the Developer shall provide an updated, current version of the updated plans and specifications to current city standards. The Developer may request one extension of the approvals previously given for another two (2) years.
- c. Engineer of record shall hold a pre-construction meeting, including the City Engineering Department, design engineer and contractor. Engineer of record will notify the City in writing of schedule before construction begins.
- d. Perform construction surveying, staking, testing, inspection and administer the construction of all facilities required by this contract.
- e. Submit all test reports, inspection reports, request for change orders and construction diaries to the City Engineering department every week during the construction of the development or subdivision.
- g. Submit to the City Engineer As-builts for the City records showing any approved changes to the original plans and specifications. A 24" x 36" complete plan set (stamped & signed), a pdf, and an AutoCAD file of the plans shall be provided within thirty (30) days after completion of the project.
- h. The developer's engineer shall submit an Engineer's Check-off and certification form stating that the work has been constructed in conformance to the plans and specifications, and thereby certifying that improvements were constructed to the lines and grades shown.

The above work shall be subject to the approval of the City Engineer.

It shall be the responsibility of the Developer's Engineer or other certified individuals to provide all necessary quality control and required testing during construction. All tests shall be

taken at a frequency based upon Idaho Standard for Public Works Construction (ISPWC) and the City of Twin Falls Revisions to the ISPWC.

The Developer agrees to: (1) allow the City full and complete access to the work (2) provide all materials necessary to conduct independent testing (3) supply all water necessary to test pipe joints and (4) provide the equipment and perform or have performed any testing of manufactured materials required by the City Engineer.

The Developer shall submit a letter identifying lots and blocks associated with construction phase to the City Engineer upon completion of the project, requesting that the City assume the responsibility for maintenance and operation of all public improvements as stated herein.

IV.

The Developer agrees to obtain a permit or letter of approval from the Twin Falls Highway District or the Idaho Transportation Department (ITD) prior to constructing improvements on their respective right-of-ways. The original or a certified copy of said permit or letter shall be submitted to the City Engineer prior to beginning of construction thereon.

V.

The Developer agrees to dedicate rights-of-way to the public for the development of all streets and alleys in accordance with the City Transportation Master Plan and to dedicate easements for the maintenance and operation of all public utilities. The size and location of said rights-of-way and easements shall be determined by the City Engineer.

VI.

The Developer and the City agree that the improvements listed herein are required unless specifically waived by action of the City Council and that said improvements will be constructed on any public rights-of-way or easements approved and accepted by the City Council all as designed by the Developer's Engineer and approved by the City Engineer and in accordance with standards established by the City Engineer and that all required improvements will be completed in a timely manner. If improvements are not completed within two (2) years, the Developer shall provide an updated, current version of the developer's agreement and financial guarantee for City Council consideration along with updated plans and specifications to current city standards. The Developer may request an extension of the approvals previously given for another two (2) years.

VII.

The Developer agrees to pay the total actual costs of all materials, labor and equipment necessary to completely construct all of the improvements required herein, except those costs specifically shown to be paid by the City and to construct or contract for the construction of such improvements.

#### VIII.

Developer agrees to pay the total extra cost of all additional materials, labor and equipment necessary to construct any streets the City requires to be wider or deeper than a standard street or any water, sewer lines, or pressure irrigation the City requires to be larger than the size required to properly serve the development. The requirement for wider and deeper streets shall be based on the Transportation Master Plan. Requirements for larger water, sewer and pressure irrigation lines shall be based on the citywide sewer, water, and pressure irrigation system sizing guidelines and based on modeling, if applicable.

#### IX.

The City shall provide no compensation for the cost of an oversize water, sewer line, and pressure irrigation. In the case of water, sewer, or pressure irrigation lines extended adjacent to or outside the limits of development, the Developer shall be eligible for payback from adjacent property owners pursuant to Ordinance No. 2979. The Developer shall also be eligible for compensation when a private developer extends or connects to any water, sewer, pressurized irrigation or street system previously installed by private developer, pursuant to Resolutions 2017-13.

#### X

Developer agrees to request in writing that the Developer's Engineers make the inspections required herein and the Developer or his Contractors shall not proceed with the next construction phase until the required inspections are complete and the work has been accepted by the Developer's Engineer and the City Engineer. All such inspections shall be scheduled in accordance with Idaho Standard for Public Works Construction (ISPWC) and the City of Twin Falls Revisions to ISPWC, as adopted at time of construction plan approval. The developer agrees to pay all costs resulting from: 1) his failure to properly schedule and request a required test or inspection or 2) proceeding with work before receiving approval to proceed. Developer agrees to remove or correct any rejected, unapproved or defective work or materials as required by the Developer's Engineer or the City Engineer. Any such defective work whether the result of poor workmanship, use of defective

materials, damage through carelessness or any other cause, shall be removed within ten (10) days after written notice is given by the Developer's Engineer or the City Engineer, and the work shall be re-executed by the Contractor at his expense. The fact that either Engineer may have previously overlooked such defective work or materials shall not be a basis for acceptance of any part of it.

The issuance or approval of plans, specifications and computations shall not be construed as an approval of any violation of any provisions of City code, specifications, standards, policy, or any other ordinance of the City. Approvals of plans that may violate City code, specifications or departmental policies will not be valid.

The approval of construction plans, specifications, and other data shall not prevent the City from thereafter requiring the correction of errors or omissions in said plans or specifications prior to or during actual construction or final acceptance by the City.

The Developer shall remove from all public property all temporary structures, rubbish, and waste materials resulting from their operation or caused by his employees.

The Developer shall guarantee all materials, workmanship and equipment furnished for a period of one (1) year from the date of written acceptance of the work by the City Engineer or authorized representative.

The Developer shall be responsible for any damage to any existing public improvements and shall repair or replace any such damage as required by the City Engineer, during or after completion of this project. The Developer's contractor shall apply for a Right-of-Way permit with a Traffic Control Plan to be approved by the City of Twin Falls prior to any road, lane, or sidewalk closures.

## XI.

The City and the Developer agree to the following minimum for Required Improvements, City Costs, Required Inspections and any other improvements; which are approved or required by the City Council and shown on the approved construction plans.

### PUBLIC WAYS

- (a) Required Improvements
  - (1) Curb, gutter and sidewalk on all public street rights-of-way.
  - (2) A standard local street constructed on all public street rights-of-way serving residential use property.

- (3) Local and private streets shall be constructed as per the current standards, adopted at time of construction plan approval. These include City of Twin Falls Master Transportation plan, ISPWC and City of Twin Falls Revisions to ISPWC.
  - (4) Minor and Major collector streets shall be constructed as per the current standards, adopted at time of construction plan approval. These include City of Twin Falls Master Transportation plan, ISPWC and City of Twin Falls Revisions to ISPWC.
  - (5) Arterial typical sections will be designed by the developer's Engineer and approved by the City Engineer, with width determined on the Master Transportation Plan.
  - (6) A sidewalk, per Idaho Standard for Public Works Construction (ISPWC) and the City of Twin Falls Revisions to the ISPWC, is required on all public pedestrian rights-of-way. Four foot (4') sidewalks, by special permission of the City Engineer, shall be constructed per ISPWC and the City of Twin Falls Revisions to the ISPWC for local streets under certain conditions.
  - (7) Landscaping and sidewalk placement required adjacent to arterial and collector streets: A portion of land eleven feet (11') in depth behind the back of curb will be dedicated as part of any residential development adjacent to arterial and collector streets as Right-of-Way. Within that Right-of-Way the developer shall install a landscape strip with a sprinkler system to the City of Twin Falls Parks and Recreation standards and shall also install a sidewalk to current adopted standards. The landscaping will be maintained by the city and funded through a fee added to the utility bill of each account within the development. Irrevocable restrictive covenants for this development and maintenance shall provide for this funding. TFCC §10-12-4.2(O).
  - (8) Streetlights as determined by City policy for street light installation.
  - (9) The cost of any street signs or traffic control devices installed by the City on new or existing streets.
- (b) City Costs
- (1) None

(c) Required Inspections and Testing

- (1) All inspections and testing shall be as required per ISPWC and the City of Twin Falls revisions to the ISPWC.

WATER SYSTEM

(a) Required Improvements

- (1) Pursuant to City Code Section 7-8-3, 7-8-10 and 10-12-4.2 water line and fittings eight inch (8") minimum diameter that will transport a flow of water, which will satisfy fire, domestic, other water demands of the development, based upon the City water pipe sizing plan and computer water model. Water line extension shall include connection from the existing City Water System to each building site and fire hydrants and then loop back to the City System in a manner that will provide a properly functioning system approved by the City Engineer, Water Superintendent and Fire Marshall. If the development is to be constructed in phases, the water system shall be looped back to the City system during the first phase. Any water main connections closer than 150' to each other will not be considered looped without prior City approval. No dead-end lines longer than 150 feet will be allowed during any phase of the project.
- (2) Water lines and fittings adjacent to and internal to the development shall be sized to continue the orderly expansion of the City water distribution network in accordance with existing sizing guidelines.
- (3) Water valves that will allow temporary suspension of water flow for maintenance and repair of portions of water system without causing undue inconvenience to a large number of users or creating a critical situation in the suppression of fires.
- (4) Fire hydrant connections and fire hydrants spacing shall comply with the minimum standards set by the Fire Rating Bureau, American Water Works Association, and the International Fire Code. The maximum length of dead end water lines shall be one hundred and fifty feet (150'). Fire hydrants with STORZ connectors are required in all developments.

- (5) One water service line shall be constructed to each building site at the time the water mains are installed. The design shall minimize the length of the service line and shall terminate at the Right-of-Way. Service taps are not allowed in intersections.

Meters shall be grouped at adjacent side lot lines when possible or at another location if requested by the Developer and approved by the City Engineer and Water Superintendent. Water meter boxes will not be allowed in driveway approaches or sidewalks. Any cost associated with relocating meters from driveway approaches will be the responsibility of the Developer or Lot Owner.

All new water service lines made from new water mains to serve any new development will be the responsibility of the Developer. The developer shall complete all work except when connecting to a live waterline. The City will make the necessary main line taps after payment of the required water connection permit fees.

- (6) One water service line tap, meter box, and service line shall be constructed for each building connected to the City water system. Multi-units less than three may be approved for additional service lines. It is understood and agreed that the City will make all service line taps on live lines, and that the fee paid by the developer for a Water Connection Permit will reimburse the City for such work. All other work to be completed by the Developer.
- (7) It is further understood and agreed that the City will make all connections to the existing water system. The developer will disinfect the water system and submit testing results to the City prior to making the system live.
- (8) All water valves shall be provided with a gravel access 12" thick where no public roadway currently exists.

(b) City Costs

- (1) None.

(c) Required Inspections

- (1) All inspections and testing shall be as required per ISPWC and the City of Twin Falls Revisions thereto.

WASTE WATER COLLECTION SYSTEM(a) Required Improvements

- (1) Pursuant to City Code Section 10-12-4.2 a wastewater collection system (eight-inch (8") minimum diameter) that will transport a flow of wastewater, under conditions of maximum and minimum discharge from the development to the existing City waste water system.
- (2) Wastewater lines adjacent to or internal to the development will be sized to continue the orderly expansion of the City Wastewater Collection System in accordance with existing sizing guidelines and computer sewer model.
- (3) Manholes to provide access for maintenance and cleaning of the sewer lines located at any change of grade or alignment of the sewer, at the end of each sewer and spaced not more than four hundred feet (400') apart.
- (5) All manholes shall be provided with a gravel access 12" thick where no public roadway currently exists.

(b) City Costs

- (1) The City will perform the CCTV inspection on waste water lines which are part of the construction phase.

(c) Required Inspections and Testing

- (1) All inspections and testing shall be as required per ISPWC and the City of Twin Falls revisions to the ISPWC.

STORM DRAINAGE SYSTEM(a) Required Improvements

- (1) Any valley-gutters, ditching, grading or other surface drainage facilities necessary to convey any storm run-off originating from or traversing across the proposed development over the land surface to a point of retention, detention or discharge approved by the City Engineer.
- (2) Any catch basin, storm sewer and other sub-surface drainage facilities necessary to convey any storm run-off, originating from or traversing across the proposed development, to a point of retention, detention or discharge approved by the City Engineer.

- (3) If storm run-off cannot be conveyed without causing damage to public or private property or without being an unreasonable inconvenience or hazard to a private individual, a group of individuals, or the general public, the storm drain shall be piped to the retention facility.
- (4) All retention areas are to be on a designated lot to be maintained by the owner or when applicable, in a dedicated/exclusive storm water easement, granted to the City of Twin Falls.

(b) City Costs

- (1) The City will perform the CCTV inspection on storm water lines which are part of the construction phase.

(c) Required Inspections and Testing

- (1) The City will inspect all dry wells for geometry and materials. Rock will be submitted to the Developer's Engineer for confirmation of void space prior to placement in dry wells. Documentation of confirmation shall be provided to the city engineering department. A request for inspection shall be called in, forty eight (48) hours in advance or two (2) working days whichever is greater.

GRAVITY IRRIGATION SYSTEM

(a) Required Improvements

- (1) Any pipe, boxes or other appurtenances necessary to convey all irrigation water in underground pipe across the development and any adjacent public property. Privately owned Irrigation facilities shall be constructed on private property except where it is necessary for irrigation water to cross the public right-of-way and all such crossings shall be perpendicular to the center line of said right-of-way unless otherwise approved by the City Engineer due to some unusual condition. Fences, sidewalks or other permanent features will not be located on top of irrigation facilities. Irrigation facilities shall not be located in City Right-of-Way, except in crossings perpendicular to the right-of-way.

(b) City Costs

- (1) None.
- (c) Required Inspections and Testing
  - (1) All inspections and testing shall be as required per ISPWC and the City of Twin Falls revisions to the ISPWC.

PRESSURE IRRIGATION SYSTEM

- (a) Required Improvements
  - (1) Pursuant to Section 10-12-4-2 of the City Code, the use of the City's potable water supply as the primary source of irrigation water in all new developments shall be prohibited. For purposes of this subsection, the term "new development" means any new subdivision or ZDA, or any development of any parcel of land of three-fourths (3/4) of an acre or larger that is not part of a subdivision or ZDA. One (1) share of Twin Falls Canal Company Water for each acre of property within the subdivision shall be transferred to the City of Twin Falls, before the filing of the final plat or receiving an improvement acceptance letter, for use in the City's pressurized irrigation system.
  - (2) Pressure irrigation water mains and fittings shall satisfy the currently adopted Pressurized Irrigation master plan.
  - (3) Pressure irrigation lines and fittings adjacent to and internal to the development shall be sized to continue the orderly expansion of the City Pressure Irrigation water distribution network in accordance with currently adopted Pressurized Irrigation Master Plan sizing guidelines.
  - (4) Pressurized irrigation valves that will allow temporary suspension of water flow for maintenance and repair of portions of water system without causing undue inconvenience to more than 30 users. One pressure irrigation water service line shall be constructed to each lot at the time the pressure irrigation water lines are installed. The design shall minimize the length of the service line and shall terminate at the Right-of-Way. Service taps will not be allowed in the intersection.

One Pressure irrigation water service line tap, irrigation box, and service line shall be constructed for each lot connected to the City pressure irrigation water system.

- (5) The Developer shall be responsible for all costs incurred in designing and installing the public pressure irrigation station to City Standards and Specifications or as an agreement negotiated with the City Engineer. This includes the land, pumps, motors, filters, enclosures, delivery system to the station from the TFCC head gate and away from the station on the historical path, storage, Supervisory Control and Data Acquisition (SCADA) system, and power to the station.
  - (6) All pressure irrigation system plans must be prepared by the Developer's engineer and shall be according to the Idaho Standard for Public Works Construction (ISPWC) and the City of Twin Falls Revisions to the ISPWC
  - (7) The Pressure Irrigation System shall be located within easements, right-of-ways and/or property deeded to the City of Twin Falls.
  - (8) Private Pressure Irrigation Systems shall be located outside City Right-of-Way and within easements. No Public infrastructure will be associated with a private Pressure Irrigation System.
- (b) City Cost.
    - (1) None
  - (c) Required Inspections and Testing
    - (1) All inspections and testing shall be as required per ISPWC and the City of Twin Falls revisions to the ISPWC.

#### SPECIAL FEATURES

Pursuant to commitments made by the Developer as conditions of approval of the development, the following special features shall be constructed:

- a) Required Improvements

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- b) City Costs
  - (1) None.

XIII.

The developer shall submit an Improvement Agreement with each individual construction phase.

The two (2) year time limit, (indicated in Section VI of the Agreement) for completing the required improvements shall begin from the date of the recordation of this agreement. The Developer may request an extension of the approvals previously given for another two (2) years.

XIV.

This agreement shall bind the parties hereto, their heirs, successors in interest, and lawful assigns.

XV.

In the event of a breach of Agreement, or should legal action of any kind be taken to enforce the provisions, hereof, the prevailing party shall be entitled to reasonable attorney fees and costs awarded by the Court.

Attest:

CITY OF TWIN FALLS, IDAHO

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Developer

STATE OF IDAHO )  
                          )ss.  
County of Twin Falls )

On this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, a Notary Public for Idaho, personally appeared \_\_\_\_\_, known to me to be the persons whose names are subscribed to the within instrument on behalf of said Owner and acknowledged to me that said Owner executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

\_\_\_\_\_  
Notary Public for Idaho  
Residing

CORPORATION

STATE OF IDAHO )  
                          )ss.  
County of Twin Falls )

On this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, a Notary Public for Idaho, personally appeared \_\_\_\_\_, known or identified to me (or proved to me on the oath of \_\_\_\_\_) to be the president, or vice-president, or secretary or assistant secretary, of the corporation that executed the instrument or the person who executed the instrument on behalf of said corporation, and acknowledged to me that such corporation executed the same.







# Shell, TI, and Certificate of Occupancy policy

Based upon the 2018 International Building Code (IBC)

## Shell Building Defined:

Many buildings are constructed without specific tenants or improvements. These are shell buildings. We recognize two types of shell buildings. **Shell** and **Speculative shell or Core & Shell**.

The International Building Code (IBC) classifies all buildings by type of "occupancy" or use. There are many classifications, but they all fall into ten general categories:

**A** – Assembly **B** – Business **E** – Educational **F** – Factory and Industrial **H** – Hazardous **I** – Institutional **M** – Mercantile **R** – Residential **S** – Storage **U** – Utility

*Shell buildings* are typically (future) retail stores/ strip malls, offices, warehouses, and a mixture of light to heavy industrial. Multi-story shell buildings may also include all elevated floor assemblies, mezzanines, and stairways.

A Shell Building shall consist of a complete foundation, exterior walls, roof structure, and fire protection measures. Mechanical, Electrical, and Plumbing (MEP) main infrastructure may be installed, but limited in scope and considered to be incomplete. Fire sprinkler systems shall be installed based on the allowable fire area and the requirements of the International Building Code (IBC) based on the presumed occupancy and building type. A shell building upon completion, is not intended to be occupied or habitable and a Certificate of Completion (C of C) will be issued, rather than a Certificate of Occupancy (C of O). Occupancy shall be authorized, and a C of O issued at time of future Tenant Improvement (TI) final approval.

*Separate Tenant Improvement permits will be required for each tenant space.*

## What is a "Speculative" or "Core & Shell" Building?

A particular type of shell building, that is constructed by an owner/developer for a speculative/unknown future occupant(s). The level of work associated with the **speculative shell** varies but typically includes the thermal envelope, demising walls, restroom facilities, mechanical and electrical systems. A speculative shell building is practically ready for occupancy, other than the future tenant and use of the space is unknown. However, as there is no declared actual tenant, and therefore the actual occupancy type not known for certain, a "speculative shell" permit is granted only a *Certificate of Completion (C of C)*. Once the speculative shell building is finished, a future tenant must apply for a *Certificate of Occupancy (C of O)* permit from TFBSD in order to obtain a C of O for their space.

## Can I receive a certificate of occupancy without knowing who the tenant is?

A person may obtain a certificate of occupancy for a speculative shell building by following the same rules for a complete building permit and meeting all requirements for occupancy. Because the tenant isn't known, we can only allow occupancy for a few very specific types of occupancy: *Offices, retail (less than 50 occupants), and non-hazardous or high piled storage*. Examples of uses that would require a certificate of occupancy permit include:

City of Twin Falls Building Safety Dept., 203 Main Ave. E., Twin Falls, ID 83301 [www.tfid.org](http://www.tfid.org)

Revised 7/16/24

- Woodworking, cabinetmaking, or staining/painting
- Car/Truck or ATV repair, detailing, or painting
- Hair & nail salons
- Any kind of cleaning where water would be discharged to city sewer or streets
- Dog Grooming
- Medical offices
- Hazardous Storage
- Storage of Furniture or mattresses
- High Piled Storage
- Exercise Gyms or Assembly type occupancies
- Welding/ manufacturing
- Food preparation or restaurant
- Daycare
- Large Retail (some minor retail may be allowed with certain limited office uses)

### **What is a Tenant Improvement?**

A Tenant Improvement permit is needed for the creation of a new tenant or space, the remodel/alteration of a space within an existing building, or for the change of use in a previously occupied space. Plans should be submitted and reviewed for applicable code requirements. A permit will then be issued to do the work shown on the plans, and when the work has been completed and inspected, then a Certificate of Occupancy is issued for the tenant.

### **What is a Certificate of Completion?**

Since there is no tenant in a shell building, a Certificate of Occupancy (C of O) may not be issued when the work on the shell is complete. Instead, a Certificate of Completion (C of C) will stand in for the Certificate of Occupancy until the tenant is known. A Certificate of Completion is issued upon inspection approval of all required work related to the shell permit. The contractor often needs documentation for the owner or lending agency to satisfy contract or loan requirements, and the Certification of Completion provides that documentation.

### **What is a Certificate of Occupancy?**

A Certificate of Occupancy indicates that a building or individual tenant space has been inspected by City Building Safety, Fire, Planning & Zoning, and Engineering departments and no code violations have been found. This certificate allows for the space to be occupied.

### **When is a Certificate of Occupancy Required?**

For new commercial or industrial construction, a separate Certificate of Occupancy or Certificate of Completion is issued after the building passes final inspection and is in compliance with all other agencies. In multiple tenant buildings, a Certificate of Occupancy is required for each tenant space. A C of O is also required when changing occupancy classification of a space.

### **What other work does not receive a certificate of occupancy?**

A building permit is required in order to change an element of the shell building that is not related to any specific tenant or change of use/occupancy. Examples of this include: structural changes to the building, redesign of a stair system, new interior walls, new doors or windows, etc. This type of permit does not result in a Certificate of Occupancy nor does it grant approval for a new tenant.

## Are Separate Permits Required for Each Tenant?

**Yes.** Each new tenant that moves into a shell building is required to obtain a permit in order for occupancy to be issued. This is true even if no construction work is required for the tenant to begin business. Since the shell was set up without specific tenant information, many code requirements were not reviewed. Now that specific tenant information is available, the occupant load can be established, and life safety issues can be addressed.

## Can a TI be combined with a shell building permit?

Only when the building is built as a complete build out. If this is a partial build out, separate permits will be required for the shell and the TI.

## What are the Requirements for Change of Occupancy/Use and Building Additions?

If you are changing the "use or occupancy" of a building or tenant space, or adding onto a building, there are requirements that go beyond the scope of this bulletin. For example, changing the "occupancy" from office to mercantile may require changes to the building construction, number of exits, and accessibility features. Or a particular business such as a beauty salon or repair garage may be of a higher hazard category which would require a new certificate of occupancy. On an existing building, a new C of O is required when there is a change of use or occupancy.

## What does the permit process entail?

The permit process when constructing a new shell building is essentially the same for any new building, with the variable of not having the exact tenant information. The plan review process assumes a general type of tenant, based on the applicant's information. The shell building installs the common elements like the building sewer, while the tenant might install the plumbing fixtures. There are many variations to who is responsible for portions of the work, but normally there is a main contractor responsible for the whole project.

## Submittal Requirements for Building Permits

For submittal requirements, see the [Commercial Building Permit Application](#) or [Commercial TI/remodel application](#) or [Certificate of Occupancy only application](#).

Plans are to be submitted as PDF's to [bsdpermits@tfid.org](mailto:bsdpermits@tfid.org). Call the permit coordinator at 208-735-7286 to discuss options on how to submit digital/electronic plans or if you have very large files that may not be able to be send via email. We also ask that plans be submitted in the following format: [Electronic submittal standards](#).

If you would like to discuss your project before submitting the application, please feel free to reach out to the Building Safety Department at 208-735-7238 to schedule an in-person meeting or video conference.

## Other Permits Which May Be Required:

**Electrical Permit:** City of Twin Falls Building Safety Department issues electrical permits depending on where your project is located.

**Mechanical Permit:** Energy and ventilation code compliance information shall be included in the mechanical permit information submittal. [Mechanical plan review/submittal requirements](#).

City of Twin Falls Building Safety Dept., 203 Main Ave. E., Twin Falls, ID 83301 [www.tfid.org](http://www.tfid.org)  
Revised 7/16/24

**Plumbing Permit:** Plumbing riser diagrams and fixture count tables are required for all food service tenants and tenants with banks of fixtures. Tenants with plumbing serving only two restrooms or less need not provide a riser diagram.

**Type I Hood and Suppression Permits:** Separate permits are required for the Type 1 Hood and Fire Suppression System. (these are frequently installed in food service uses)

**Paint Booth and/or dust collection system Permits:** These systems are installed in automobile repair garages or woodworking shops. A classified area design from a licensed electrical or mechanical engineer is also required to accompany this type of permit.

**Fire Alarm System Permit:** Installation of and revising fire sprinkler systems require separate permits from the state of Idaho (DOPL).

**Sprinkler System Permit:** Installation of and revising fire sprinkler systems require separate permits from the state of Idaho (DOPL).

**Sign Permit:** Sign permits are separate permits and must be specifically applied for.

**Awning Permit:** Awnings are sometimes considered signs and require separate permits. Call Planning and Zoning at 208-735-7267.

**Elevator Permit:** Permits are obtained from the Idaho Department of Public Licenses (DOPL).

**South Central Public Health District:**

- If any food service/preparation or sales is involved, check with the South Central Public Health District for their requirements.
- Changes or modifications to the plumbing system for buildings served by On-Site Sewage (Septic) System require Health Department permit and review.

**Right of Way Permit:** <https://id-twinfalls3.civicplus.com/DocumentCenter/View/1305/Right-Of-Way-Permit-Application?bidId=>

**Zoning specific Permits:** Special use permits, variances, etc. <https://www.tfid.org/680/Planning-Zoning-Applications-Forms-Fees>

# COMMERCIAL APPLICATION — New



## City of Twin Falls Community Development

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfid.org](mailto:bsdpermits@tfid.org)  
[www.tfid.org](http://www.tfid.org)

### NEW COMMERCIAL BUILDING PERMIT APPLICATION

**Application package, and payment, must be complete to be entered into the review queue.**  
~ See 'Commercial Development Guide' for Submittal Requirements ~

APPLICATION SUBTYPE <sup>1</sup> :	
<input type="checkbox"/> New	<input checked="" type="checkbox"/> Addition
<input type="checkbox"/> Shell Building	
PROJECT INFORMATION <sup>1</sup>	
Project Name:	New Building Area:
Project Address:	Existing Building Area:
Existing Use:	Total Sq. Footage:
Proposed Use:	Parcel #:
Project Description:	
APPLICANT <sup>1</sup>	PRIMARY LICENSED DESIGN PROFESSIONAL <sup>1</sup>
Name	Name
Business Name	Business Name
Address	Phone Number
Phone Number	Email
Email	
PROPERTY OWNER <sup>1</sup>	LICENSED DESIGN PROFESSIONAL
Name	Name
Business Name	Business Name
Address	Phone Number
Phone Number	Email
Email	

I (*Applicant*) hereby certify that the application package submitted has been prepared in accordance with generally accepted engineering and architectural standards, as well as Federal, State and Local applicable codes and regulations. I have read and reviewed the City of Twin Falls – [Commercial Development Guide](#).

I verify that all required information and documentation are included. The content of this submittal package is true and accurate to the best of my knowledge.

**Applicant Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

If the property owner is not the applicant, provide completed Affidavit of Legal Interest. See form [here](#).

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — New



City of Twin Falls  
Community Development

**NEW COMMERCIAL  
BUILDING PERMIT APPLICATION**

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfd.org](mailto:bsdpermits@tfd.org)  
[www.tfd.org](http://www.tfd.org)

## ADDITIONAL CONTACTS

### TENANT

Name

Business Name

Phone Number

Email

### PROJECT MANAGER

Name

Business Name

Phone Number

Email

### REGISTERED CONTRACTOR

Name

Business Name

Phone Number

Email

### LICENSED DESIGN PROFESSIONAL (STRUCTURAL)

Name

Business Name

Phone Number

Email

### OTHER CONTACT

Name

Business Name

Phone Number

Email

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — New



## City of Twin Falls Community Development

### NEW COMMERCIAL BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfd.org](mailto:bsdpermits@tfd.org)  
[www.tfid.org](http://www.tfid.org)

#### REQUIRED ITEMS<sup>1</sup>:

**Required at time of Submittal.** Each item must be addressed. Criteria outlined below, is **not** all inclusive. See '**Commercial Development Guide**' for submittal content items.

#### Completed & Signed Application<sup>1</sup> – Document

#### Construction Plan Sheets<sup>1</sup> – Plans

SHEET PREFIX	DISCIPLINE	SHEET PREFIX	DISCIPLINE
G	Contact Information/Cover/General Notes	M	Mechanical
C	Civil	P	Plumbing
D	Demolition	PH	Phasing Plan <sup>2</sup>
A	Architectural	S	Structural
E	Electrical	L	Landscape

#### Calculations<sup>1</sup> – Document

#### Supplemental Information<sup>1</sup> – Document

[Signed Affidavit of Legal Interest](#) — *If Owner ≠ Applicant* — See Commercial Development Guide Appendix

Development Agreement — **Required for any Public Infrastructure** — See Commercial Development Guide Appendix

Wastewater Discharge Survey — **Industrial Only** — See Commercial Development Guide Appendix

Sewer Capacity Fee Worksheet — See Commercial Development Guide Appendix

#### PREFERRED STANDALONE SHEETS:

#### Construction Plans – Plans

SHEET PREFIX	DISCIPLINE
FP	Fire Protection
I	Site Lighting/Illumination

#### NOTICE

Applications for any proposed work shall be deemed abandoned after 180 days, based on date of filing, unless such application has been pursued in good faith, or a permit has been issued. You may be granted an extension for additional time, not to exceed 90 days. Extensions shall be requested in writing. Justifiable cause shall be demonstrated.

**IBC section 105.3**

**\*\*\*Fire Sprinkler, Fire Alarm, and Elevator Plans to be submitted to the State of Idaho for Review\*\*\***

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — Multi-Family



## City of Twin Falls Community Development

### NEW MULTI-FAMILY BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfid.org](mailto:bsdpermits@tfid.org)  
[www.tfid.org](http://www.tfid.org)

**Application package, and payment, must be complete to be entered into the review queue.**  
~ See '[Commercial Development Guide](#)' for Submittal Requirements ~

PROJECT INFORMATION <sup>1</sup>	
Project Name:	New Building Area:
Project Address:	Total Sq. Footage:
Proposed Use:	<u>Parcel #:</u>
Number of Units:	
Project Description:	
APPLICANT <sup>1</sup>	PRIMARY LICENSED DESIGN PROFESSIONAL <sup>1</sup>
Name	Name
Business Name	Business Name
Address	Phone Number
Phone Number	Email
Email	
PROPERTY OWNER <sup>1</sup>	LICENSED DESIGN PROFESSIONAL
Name	Name
Business Name	Business Name
Address	Phone Number
Phone Number	Email
Email	

I (*Applicant*) hereby certify that the application package submitted has been prepared in accordance with generally accepted engineering and architectural standards, as well as Federal, State and Local applicable codes and regulations. I have read and reviewed the City of Twin Falls – [Commercial Development Guide](#).

I verify that all required information and documentation are included. The content of this submittal package is true and accurate to the best of my knowledge.

**Applicant Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

If the property owner is not the applicant, provide completed Affidavit of Legal Interest. See form [here](#).

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — Multi-Family



City of Twin Falls  
Community Development

## NEW MULTI-FAMILY BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tffd.org](mailto:bsdpermits@tffd.org)  
[www.tffd.org](http://www.tffd.org)

### ADDITIONAL CONTACTS

#### TENANT

Name  
Business Name  
Phone Number  
Email

#### PROJECT MANAGER

Name  
Business Name  
Phone Number  
Email

#### REGISTERED CONTRACTOR

Name  
Business Name  
Phone Number  
Email

#### LICENSED DESIGN PROFESSIONAL (STRUCTURAL)

Name  
Business Name  
Phone Number  
Email

#### OTHER CONTACT

Name  
Business Name  
Phone Number  
Email

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — Multi-Family



## City of Twin Falls Community Development

### NEW MULTI-FAMILY BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
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[bsdpermits@tfid.org](mailto:bsdpermits@tfid.org)  
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#### REQUIRED ITEMS<sup>1</sup>:

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SHEET PREFIX	DISCIPLINE	SHEET PREFIX	DISCIPLINE
G	Contact Information/Cover/General Notes	M	Mechanical
C	Civil	P	Plumbing
D	Demolition	PH	Phasing Plan <sup>2</sup>
A	Architectural	S	Structural
LS	Life Safety	L	Landscape
E	Electrical		

#### Calculations<sup>1</sup> – Document

#### Supplemental Information<sup>1</sup> – Document

[Signed Affidavit of Legal Interest](#) — *If Owner ≠ Applicant* — See Commercial Development Guide Appendix

Development Agreement — **Required for any Public Infrastructure** — See Commercial Development Guide Appendix

Wastewater Discharge Survey — **Industrial Only** — See Commercial Development Guide Appendix

Sewer Capacity Fee Worksheet — See Commercial Development Guide Appendix

#### PREFERRED STANDALONE SHEETS:

#### Construction Plans – Plans

SHEET PREFIX	DISCIPLINE
FP	Fire Protection
I	Site Lighting/Illumination

#### NOTICE

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**IBC section 105.3**

**\*\*\*Fire Sprinkler, Fire Alarm, and Elevator Plans to be submitted to the State of Idaho for Review\*\*\***

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — Remodel



## City of Twin Falls Community Development

### COMMERCIAL REMODEL, TI, CHANGE OF OCCUPANCY BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfid.org](mailto:bsdpermits@tfid.org)  
[www.tfid.org](http://www.tfid.org)

**Application package, and payment, must be complete to be entered into the review queue.**  
~ See '[Commercial Development Guide](#)' for Submittal Requirements ~

<b>APPLICATION SUBTYPE<sup>1</sup>:</b>		<input type="checkbox"/> Remodel	<input checked="" type="checkbox"/> <b>TI</b>	<input type="checkbox"/> Change of Occupancy
<b>PROJECT INFORMATION<sup>1</sup></b>				
Project Name:		New Building Area:		
Project Address:		Existing Building Area:		
Existing Use:		Total Sq. Footage:		
Proposed Use:		<u>Parcel #:</u>		
Project Description:				
<b>APPLICANT<sup>1</sup></b>		<b>PRIMARY LICENSED DESIGN PROFESSIONAL<sup>1</sup></b>		
Name		Name		
Business Name		Business Name		
Address		Phone Number		
Phone Number		Email		
Email				
<b>PROPERTY OWNER<sup>1</sup></b>		<b>LICENSED DESIGN PROFESSIONAL</b>		
Name		Name		
Business Name		Business Name		
Address		Phone Number		
Phone Number		Email		
Email				

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I verify that all required information and documentation are included. The content of this submittal package is true and accurate to the best of my knowledge.

**Applicant Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

If the property owner is not the applicant, provide completed Affidavit of Legal Interest. See form [here](#).

<sup>1</sup> Required  
Updated August 1, 2025

# COMMERCIAL APPLICATION — Remodel



City of Twin Falls  
Community Development

## COMMERCIAL REMODEL, TI, CHANGE OF OCCUPANCY BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfid.org](mailto:bsdpermits@tfid.org)  
[www.tfid.org](http://www.tfid.org)

### ADDITIONAL CONTACTS

#### TENANT

Name  
Business Name  
Phone Number  
Email

#### PROJECT MANAGER

Name  
Business Name  
Phone Number  
Email

#### REGISTERED CONTRACTOR

Name  
Business Name  
Phone Number  
Email

#### LICENSED DESIGN PROFESSIONAL (STRUCTURAL)

Name  
Business Name  
Phone Number  
Email

#### OTHER CONTACT

Name  
Business Name  
Phone Number  
Email

<sup>1</sup> Required  
Updated August 1, 2025

# COMMERCIAL APPLICATION — Remodel



## City of Twin Falls Community Development

### COMMERCIAL REMODEL, TI, CHANGE OF OCCUPANCY BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
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#### Construction Plan Sheets<sup>1</sup> – Plans

SHEET PREFIX	DISCIPLINE	SHEET PREFIX	DISCIPLINE
G	Contact Information/Cover/General Notes	E	Electrical
C	Civil – <i>If requesting a new water or sewer connection</i>	M	Mechanical
D	Demolition	P	Plumbing
A	Architectural	S	Structural
LS	Life Safety		

#### Calculations<sup>1</sup> – Document

#### Supplemental Information<sup>1</sup> – Document

[Signed Affidavit of Legal Interest](#) — *If Owner ≠ Applicant* — See Commercial Development Guide Appendix

Development Agreement — **Required for any Public Infrastructure** — See Commercial Development Guide Appendix

Sewer Capacity Fee Worksheet — See Commercial Development Guide Appendix

#### PREFERRED STANDALONE SHEETS:

#### Construction Plans – Plans

SHEET PREFIX	DISCIPLINE
FP	Fire Protection

#### NOTICE

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**IBC section 105.3**

**\*\*\*Fire Sprinkler, Fire Alarm, and Elevator Plans to be submitted to the State of Idaho for Review\*\*\***

<sup>1</sup> Required  
Updated August 1, 2025

# COMMERCIAL APPLICATION — Site



City of Twin Falls  
Community Development

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfid.org](mailto:bsdpermits@tfid.org)  
[www.tfid.org](http://www.tfid.org)

## COMMERCIAL SITE ONLY BUILDING PERMIT APPLICATION

*Application package, and payment, must be complete to be entered into the review queue.  
~ See 'Commercial Development Guide' for Submittal Requirements ~*

PROJECT INFORMATION <sup>1</sup>	
Project Name:	Lot/Parcel Size:
Project Address:	Parcel Dimensions:
Existing Use:	<u>Parcel #:</u>
Proposed Use:	
Project Description:	
APPLICANT <sup>1</sup>	
Name	Primary Licensed Design Professional
Business Name	Business Name
Address	Phone Number
Phone Number	Email
Email	
PROPERTY OWNER <sup>1</sup>	
Name	Licensed Design Professional
Business Name	Business Name
Address	Phone Number
Phone Number	Email
Email	

**COMING  
SOON**

I (*Applicant*) hereby certify that the application package submitted has been prepared in accordance with generally accepted engineering and architectural standards, as well as Federal, State and Local applicable codes and regulations. I have read and reviewed the City of Twin Falls – [Commercial Development Guide](#). I verify that all required information and documentation are included. The content of this submittal package is true and accurate to the best of my knowledge.

**Applicant Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

If the property owner is not the applicant, provide completed Affidavit of Legal Interest. See form [here](#).

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — Site



City of Twin Falls  
Community Development

COMMERCIAL SITE ONLY  
BUILDING PERMIT APPLICATION

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfd.org](mailto:bsdpermits@tfd.org)  
[www.tfd.org](http://www.tfd.org)

## ADDITIONAL CONTACTS

### APPLICANT

Name  
Business Name  
Phone Number  
Email

### PROJECT MANAGER

Name  
Business Name  
Phone Number  
Email

### REGISTERED CONTRACTOR

Name  
Business Name  
Phone Number  
Email

### LICENSED DESIGN PROFESSIONAL (STRUCTURAL)

Name  
Business Name  
Phone Number  
Email

### OTHER CONTACT

Name and/or Business Name  
Phone Number  
Email

**COMING  
SOON**

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

# COMMERCIAL APPLICATION — Site



City of Twin Falls  
Community Development

City Hall 2<sup>nd</sup> Floor  
Phone: 208-735-7238  
[bsdpermits@tfd.org](mailto:bsdpermits@tfd.org)  
[www.tfid.org](http://www.tfid.org)

## COMMERCIAL SITE ONLY BUILDING PERMIT APPLICATION

### REQUIRED ITEMS<sup>1</sup>:

**Required at time of Submittal.** Each item must be addressed. Criteria outlined below, is **not** all inclusive. See 'Commercial Development Guide' for submittal content items.

#### Completed & Signed Application<sup>1</sup> – Document

#### Construction Plan Sheets<sup>1</sup> – Plans

SHEET PREFIX	DISCIPLINE	SHEET PREFIX	DISCIPLINE
G	Contact Information/Cover Sheet/General Notes	PH	Phasing Plan <sup>2</sup>
C	Civil	L	Landscape
D	Definition		
A	Architectural		

#### Calculations<sup>1</sup> – Document

#### Supplemental Information<sup>1</sup> – Document

- [Signed Affidavit of Legal Interest](#) – Owner – See Commercial Development Guide Appendix
- [Development Agreement](#) – Required for all **Public Infrastructure** – See Commercial Development Guide Appendix

#### PREFERRED STANDALONE SHEETS:

##### Construction Plans – Plans

SHEET PREFIX	DISCIPLINE
FP	Fire Protection
I	Site Lighting/Illumination

### NOTICE

Applications for any proposed work shall be deemed abandoned after 180 days, based on date of filing, unless such application has been pursued in good faith, or a permit has been issued. You may be granted an extension for additional time, not to exceed 90 days. Extensions shall be requested in writing. Justifiable cause shall be demonstrated.

**IBC section 105.3**

**\*\*\*Fire Sprinkler, Fire Alarm, and Elevator Plans to be submitted to the State of Idaho for Review\*\*\***

<sup>1</sup> Required

<sup>2</sup> If phasing of multiple structures on one lot is desired.

Updated August 1, 2025

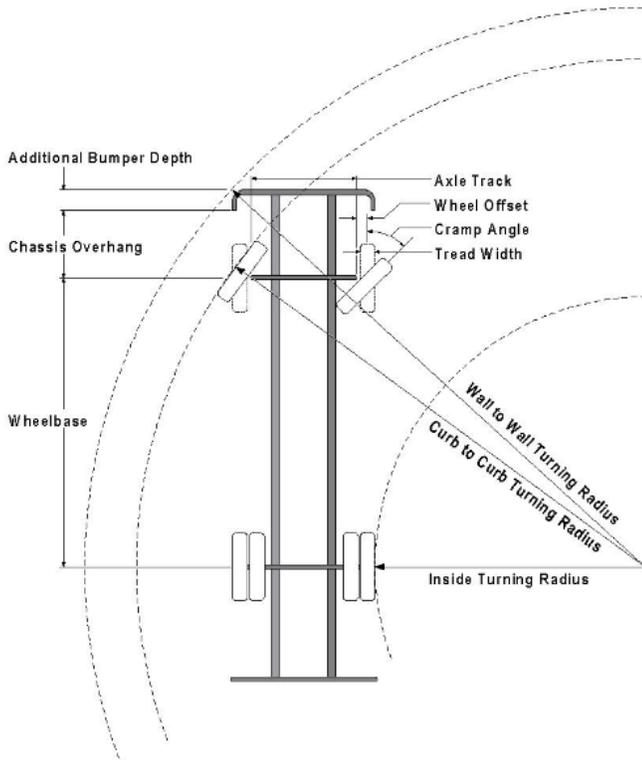


# Turning Performance Analysis

08/30/2024

**Bid Number:** 765  
**Department:** Twin Falls Fire Department

**Chassis:** Enforcer Chassis, PUC  
**Body:** Pumper, PUC, Aluminum



**Parameters:**

*Inside Cramp Angle:	45°
Axle Track:	86.17 in.
Wheel Offset:	4.68 in.
Tread Width:	14.9 in.
Chassis Overhang:	65.95 in.
Additional Bumper Depth:	19 in.
Front Overhang:	84.95 in.
Wheelbase:	191.5 in.

**Calculated Turning Radii:**

Inside Turn:	14 ft. 11 in.
Curb to curb:	29 ft. 1 in.
Wall to wall:	33 ft. 5 in.

Category	Option	Description
Bumpers	0012245	Bumper, 19" Extended, Polished S/S, Saber FR/Enforcer
Wheels, Front	0052887	Wheels, Front, Alcoa, 22.50" x 12.25", Aluminum, Dura-Bright, Hub Pilot
Tires, Front	0078243	Tires, Front, Michelin, XZY3 (wb), 385/65R22.50, 18 ply
Axle, Front, Custom	0633906	Axle, Front, Oshkosh TAK-4, Non Drive, 18,000 lb, Enforcer

**Notes:**

\*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

**Definitions:**

Inside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.

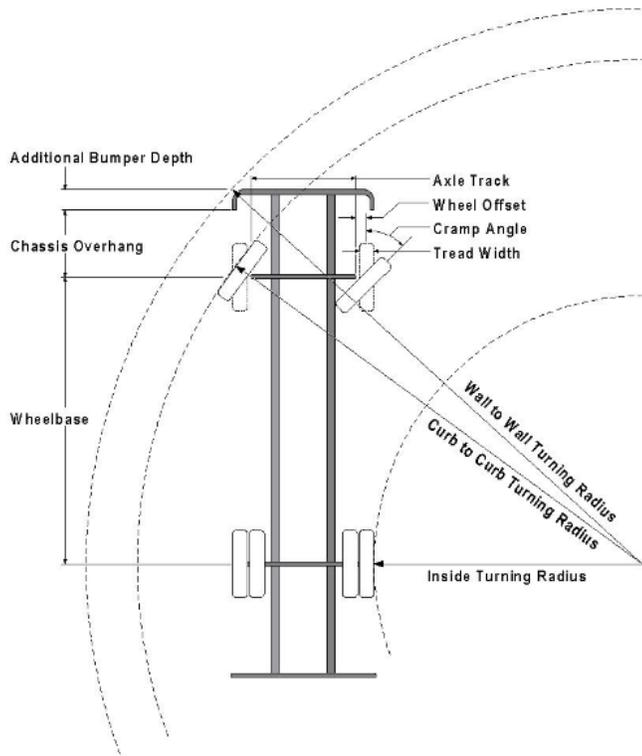


# Turning Performance Analysis

08/30/2024

**Bid Number:** 763  
**Department:** Twin Falls Fire Department

**Chassis:** Velocity Chassis, PAP (Big Block), 2010  
**Body:** Aerial, Platform 100', Alum Body



**Parameters:**

*Inside Cramp Angle:	45°
Axle Track:	82.92 in.
Wheel Offset:	4.68 in.
Tread Width:	16.3 in.
Chassis Overhang:	78 in.
Additional Bumper Depth:	19 in.
Front Overhang:	146.1 in.
Wheelbase:	257.5 in.

**Calculated Turning Radii:**

Inside Turn:	20 ft. 5 in.
Curb to curb:	36 ft. 8 in.
Wall to wall:	44 ft. 8 in.

Category	Option	Description
Axle, Front, Custom	0637059	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity (425 Tires)
Bumpers	0123625	Bumper, 19" Extended, Imp/Vel
Tires, Front	0677592	Tires, Front, Goodyear, G296 MSA, 425/65R22.50, 20 ply, Fire Service Load Rating
Wheels, Front	0019611	Wheels, Front, Alcoa, 22.50" x 12.25", Aluminum, Hub Pilot
Aerial Devices	0784643	Aerial, 100' Pierce Platform, 35 MPH Wind Rating, 400lb Tip Load Allowance

**Notes:**

\*Actual Inside cramp angle may be less than shown.

Curb to Curb turning radius calculated for 9.00 inch curb.

**Definitions:**

Inside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.

**SEWER CAPACITY FEE WORKSHEET**

Business Name: \_\_\_\_\_

Business Address: \_\_\_\_\_

1. Indicate the number of existing plumbing fixtures.
2. Indicate the number of new plumbing fixtures.
3. Dictate number of holidays the business is closed.
4. Dictate the open business days and hours.
5. If no plumbing fixtures are being added, please initial below, sign and date this form.

FIXTURES		FIXTURES	
New DFU / Unit	Number	Existing DFU / Unit	Number
Lavatories		Lavatories	
Water Closets		Water Closets	
Urinal		Urinal	
Water Softener		Water Softener	
Hand Sink		Hand Sink	
Dishwasher		Dishwasher	
Bar Sink		Bar Sink	
Clothes Washer		Clothes Washer	
Kitchen Sink		Kitchen Sink	
Shower		Shower	
Drinking Fountain		Drinking Fountain	
Mop/Svce-Sk/Tr Dr		Mop/Svce-Sk/Tr Dr	
Hose Bibb		Hose Bibb	
Laundry Sink		Laundry Sink	
Floor Drain/Sinks		Floor Drain/Sinks	
Swimming pool		Swimming pool	
Hot tub/whirl pool		Hot tub/whirl pool	
Other		Other	

No plumbing fixtures are being installed.

I (*Applicant*) hereby certify that the sewer capacity worksheet submitted has been prepared in accordance with generally accepted engineering and architectural standards, as well as Federal, State and Local applicable codes and regulations. I have read and reviewed the City of Twin Falls – *Commercial Development Guide*. I verify that all required information and documentation are included. The content of this submittal is true and accurate to the best of my knowledge.

**Applicant Signature** \_\_\_\_\_ **Date** \_\_\_\_\_

## SAMPLE PLANS ANALYSIS:

(THIS INFO TO BE PROVIDED ON PLANS) \*\*\*MAY NOT BE ALL INCLUSIVE\*\*\*

Applicable codes: (List all currently adopted codes in COTF on plans)	
OCCUPANCY CLASS(S): (A-2, B, M, S-1, E, R-2, ETC...)	
OCCUPANCY USE: (DAYCARE, HAIR SALON, DOCTORS OFFICE, ETC.)	
CONSTRUCTION TYPE:	
SEISMIC DESIGN CATEGORY:	
ALLOWABLE STORIES (SEE IBC TABLE 505.4):	
ALLOWABLE BUILDING HEIGHT:	
ALLOWABLE AREA INCLUDING CALC'S: (SEE IBC TABLE 506.2)	
SHOW FRONTAGE INCREASE NUMBERS IF APPLICABLE	
ACTUAL AREA (SHOW AREA PER STORY AND TOTAL):	BASEMENT: 1 <sup>ST</sup> : 2 <sup>ND</sup> : 3 <sup>RD</sup> : 4 <sup>TH</sup> : 5 <sup>TH</sup> : TOTAL:
OCCUPANT LOAD (EACH STORY & SHOW SEPARATE ASSEMBLY SPACES)	
AUTOMATIC SPRINKLER SYSTEM?	YES OR NO
ALLOWABLE AREA SEPARATION REQUIRED?	YES OR NO
OCCUPANCY SEPARATION OR NON-SEPARATED USE?	
FIRE RATED WALLS REQUIRED? (SPECIFY TYPE & RATING)	YES OR NO
PENETRATIONS? SHOW APPROVED LISTED PRODUCTS ON PLANS:	
FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS (SEE IBC TABLE 601) (SPECIFY RATING)	
RATED STRUCTURAL FRAME (ROOF SUPPORTS ONLY):	YES OR NO
RATED BEARING WALLS-EXTERIOR:	YES OR NO
RATED BEARING WALLS-INTERIOR	YES OR NO
RATED BEARING WALLS-INTERIOR (ROOF SUPPORTS ONLY):	YES OR NO
RATED NONBEARING WALLS-EXTERIOR (>30' FIRE SEPARATION):	YES OR NO
RATED NONBEARING WALLS-EXTERIOR (10'-30' FIRE SEPARATION):	YES OR NO
RATED NONBEARING WALLS-INTERIOR	YES OR NO
RATED FLOOR CONSTRUCTION:	YES OR NO
RATED ROOF CONSTRUCTION:	YES OR NO
MINIMUM ROOF CLASS: (SEE IBC TABLE 1505.1)	
RATED CORRIDORS: (SEE IBC SECTION 1020.1)	YES OR NO
EXTERIOR WALL OPENINGS: SEE IBC 705.8	
FIRE DOORS: IBC TABLE 716.1.2	
FIRE ALARM SYSTEM: (SEE IBC 907.2)	

## **SAMPLE PLANS ANALYSIS (Continued):**

(THIS INFO TO BE PROVIDED ON PLANS) \*\*\*MAY NOT BE ALL INCLUSIVE\*\*\*

FIRE FLOW AND DURATION:	
FIRE HYDRANTS: SHOW LOCATIONS AND DISTANCE TO STRUCTURE	
BUILDING EXITING (REQUIRED EXITS PER OCCUPANT LOAD): SEE IBC TABLE 1006.3.2	
EXITS REQUIRED PER FLOOR:	
CORRIDOR WIDTH: (SEE IBC TABLE 1020.2)	
FURTHEST TRAVEL DISTANCE: (SEE IBC TABLE 1006.2.1 & 1017.2)	
AREAS OF REFUGE REQUIRED: (SEE IBC SECTION 1009.2,3,4)	YES OR NO
PORTABLE FIRE EXTINGUISHERS ON PLANS: (SEE IFC SECTION 906)	YES OR NO
CLASSIFIED AREAS? IF YES, SHOW ON PLANS & SHOW AREAS	YES OR NO
VESTIBULE REQUIRED?	YES OR NO
SPECIAL INSPECTIONS REQUIRED?: PROVIDE LIST ON PLANS	YES OR NO
LIGHTING LAYOUT AND COM CHECK?	YES OR NO



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 350 CANYON SPRINGS ROAD  
 PO BOX 5158  
 TWIN FALLS, ID 83301

## WASTEWATER DISCHARGE SURVEY (Industrial uses only)

After reviewing the first wastewater discharge survey, additional information is needed by the City of Twin Falls to comply with Wastewater Plant’s NPDES permit requirements. Please fill out the form completely and return it to the address listed above within **30 days** of receipt.

Completion of this survey is required under the Clean Water Act (CWA) and the Rules Regulating the Idaho Pollutant Discharge Elimination System Program (IDAPA 58.01.25). Failure to complete this survey or falsifying information reported on the survey is “an offense punishable by enforcement action, which includes termination of treatment services and/or civil and criminal penalties”.

For purposes of notification, all industrial users (i.e., non-domestic users) are required to notify the Wastewater Treatment Facility of hazardous wastes in accordance with 40 CFR 403.12 located online at <https://www.gpo.gov/>.

Company Name:	
Facility Address:	
Mailing Address:	
Contact Person:	Title:
Phone:	Email:

Does the facility perform processes in any of the industrial categories or business activities listed below?	
<input type="checkbox"/> Airport Deicing	<input type="checkbox"/> Leather Tanning and Finishing
<input type="checkbox"/> Aluminum Forming	<input type="checkbox"/> Meat and Poultry Products
<input type="checkbox"/> Asbestos Manufacturing	<input type="checkbox"/> Metal Finishing
<input type="checkbox"/> Battery Manufacturing	<input type="checkbox"/> Metal Molding and Casting
<input type="checkbox"/> Canned and Preserved Fruits and Vegetables	<input type="checkbox"/> Metal Products and Machinery
<input type="checkbox"/> Canned and Preserved Seafood	<input type="checkbox"/> Mineral Mining and Processing
<input type="checkbox"/> Carbon Black Manufacturing	<input type="checkbox"/> Nonferrous Metals Forming and Metal Powders
<input type="checkbox"/> Cement Manufacturing	<input type="checkbox"/> Nonferrous Metals Manufacturing
<input type="checkbox"/> Centralized Waste Treatment	<input type="checkbox"/> Oil and Gas Extraction
<input type="checkbox"/> Coal Mining	<input type="checkbox"/> Ore Mining and Dressing
<input type="checkbox"/> Coil Coating	<input type="checkbox"/> Organic Chemicals, Plastics, and Synthetic Fibers (OCPSF)
<input type="checkbox"/> Concentrated Animal Feed Operations (CAFO)	<input type="checkbox"/> Paint Formulating
<input type="checkbox"/> Concentrated Aquatic Animal Production(CAAP)	<input type="checkbox"/> Paving and Roofing Materials (Tars and Asphalt)
<input type="checkbox"/> Construction and Development	<input type="checkbox"/> Pesticide Chemicals
<input type="checkbox"/> Copper Forming	<input type="checkbox"/> Petroleum Refining



## WASTEWATER DISCHARGE SURVEY (Industrial uses only)

**Does the facility perform processes in any of the industrial categories or business activities listed below? (Continued)**

<input type="checkbox"/> Dairy Products Processing	<input type="checkbox"/> Pharmaceutical Manufacturing
<input type="checkbox"/> Electrical and Electronic Components	<input type="checkbox"/> Phosphate Manufacturing
<input type="checkbox"/> Electroplating	<input type="checkbox"/> Photographic Processing
<input type="checkbox"/> Explosives Manufacturing	<input type="checkbox"/> Porcelain Enameling
<input type="checkbox"/> Ferroalloy Manufacturing	<input type="checkbox"/> Pulp, Paper, and Paperboard
<input type="checkbox"/> Fertilizer Manufacturing	<input type="checkbox"/> Rubber Manufacturing
<input type="checkbox"/> Glass Manufacturing	<input type="checkbox"/> Soap and Detergent Manufacturing
<input type="checkbox"/> Grain Mills	<input type="checkbox"/> Steam Electric Power Generating
<input type="checkbox"/> Gum and Wood Chemicals Manufacturing	<input type="checkbox"/> Sugar Processing
<input type="checkbox"/> Hospitals	<input type="checkbox"/> Textile Mills
<input type="checkbox"/> Ink Formulating	<input type="checkbox"/> Timber Products Processing
<input type="checkbox"/> Inorganic Chemicals Manufacturing	<input type="checkbox"/> Transportation Equipment Cleaning
<input type="checkbox"/> Iron and Steel Manufacturing	<input type="checkbox"/> Waste Combustors
<input type="checkbox"/> Landfills	

<b>Indicate the types of waste generated by this facility:</b>			
<input type="checkbox"/> Domestic Waste	<input type="checkbox"/> Noncontact Cooling	<input type="checkbox"/> Boiler/Tower Blowdown	<input type="checkbox"/> Contact Cooling Water
<input type="checkbox"/> Process	<input type="checkbox"/> Washdown	<input type="checkbox"/> Air Pollution Control	<input type="checkbox"/> Storm Water Runoff

<b>Indicate where waste is discharge:</b>		
<input type="checkbox"/> Sanitary Sewer	<input type="checkbox"/> Storm Sewer	<input type="checkbox"/> Surface Water
<input type="checkbox"/> Ground Water	<input type="checkbox"/> Waste Hauler	<input type="checkbox"/> Evaporation

**List pollutants discharge by this facility:**

**Describe any existing pretreatment technology:**

## WASTEWATER DISCHARGE SURVEY (Industrial uses only)

Indicate whether any of the following chemicals are used in your facility:

**LEGEND:**

Leave blank if Status is Absent

Mark "S" if Status is Suspected Absent

Mark "P" if Status is Present

Mark "M" if Status is Suspected Present

Chemical Compound	Status	Chemical Compound	Status
ACENAPHTHENE		ACENAPHTHYLENE	
ACROLEIN		ACRYLONITRILE	
ALDRIN		ALPHA-ENDOSULFAN	
ALPHA-LINDANE		ANTHRACENE	
ANTIMONY		AROCLOR 1016	
AROCLOR 1221		AROCLOR 1232	
AROCLOR 1242		AROCLOR 1248	
AROCLOR 1254		AROCLOR 1260	
ARSENIC		ASBESTOS (FRIABLE)	
BENZ(A)ANTHRACENE		BENZENE	
BENZIDINE		BENZO(A)PYRENE	
BENZO(B)FLUORANTHENE		BENZO(GHI)PERYLENE	
BENZO(k)FLUORANTHENE		BENZYL BUTYL PHTHALATE	
BERYLLIUM		BETA-ENDOSULFAN	
BETA-LINDANE		BIS(2-CHLORO-1-METHYLETHYL) ETHER	
BIS(2-CHLOROETHOXY)METHANE		BIS(2-CHLOROETHYL) ETHER	
BIS(2-CHLOROISOPROPYL)ETHER		BIS(2-ETHYLHEXYL)PHTHALATE	
BIS(CHLOROMETHYL) ETHER		4-BROMOPHENYL PHENYL ETHER	
CADMIUM		CAMPHECHLOR	
CARBON TETRACHLORIDE		4-CHLOR-M-CRESOL	
CHLORDANE		CHLOROBENZENE	
CHLORODIBROMOMETHANE		CHLOROETHANE	
2-CHLOROETHYL VINYLEETHER		CHLOROFORM	
CHOLOROMETHANE		2-CHLORONAPHTHALENE	
2-CHLOROPHENOL		4-CHLOROPHENYL PHENYL ETHER	
CHROMIUM		CHRYSENE	
COPPER		CYANIDE	
DDD		DDE	
DDT		DELTA-LINDANE	
DI-N-OCTYL PHTHALATE		DI-N-PROPYLNITROSAMINE	
DIBENZ(A,H)ANTHRACENE		1,2-DIBROMOETHANE	

## WASTEWATER DISCHARGE SURVEY (Industrial uses only)

Indicate whether any of the following chemicals are used in your facility:

**LEGEND:**

Leave blank if Status is Absent

Mark "S" if Status is Suspected Absent

Mark "P" if Status is Present

Mark "M" if Status is Suspected Present

<u>Chemical Compound</u>	<u>Status</u>	<u>Chemical Compound</u>	<u>Status</u>
DIBUTYL PHTHALATE		1,4-DICHLOROBENZENE	
1,2-DICHLOROBENZENE		1,3-DICHLOROBENZENE	
3,3'-DICHLOROBENZIDINE		DICHLOROBROMOMETHANE	
1,2-DICHLOROETHANE		1,1-DICHLOROETHANE	
1,1-DICHLOROETHYLENE		DICHLOROMETHANE	
2,4-DICHLOROPHENOL		1,2-DICHLOROPROPANE	
1,3-DICHLOROPROPENE (MIXED ISOMERS)		DIELDRIN	
DIETHYL PHTHALATE		DIMETHYL PHTHALATE	
2,4-DIMETHYLPHENOL		4,6-DINITRO-O-CRESOL	
2,4-DINITROPHENOL		2,4-DINITROTOLUENE	
2,6-DINITROTOLUENE		1,2-DIPHENYLHYDRAZINE	
ENDOSULFAN SULFATE		ENDRIN	
ENDRIN ALDEHYDE		ETHYLBENZENE	
FLUORANTHENE		FLUORENE	
GAMMA-LINDANE		HEPTACHLOR	
HEPTACHLOR EPOXIDE		HEXACHLORO-1,3-BUTADIENE	
HEXACHLOROBENZENE		HEXACHLOROCYCLOPENTADIENE	
HEXACHLOROETHANE		INDENO(1,2,3-CD)PYRENE	
ISOPHORONE		LEAD	
MERCURY		METHANAMINE, N-METHYL-NNITROSO	
METHYL BROMIDE		N-NITROSODIPHENYLAMINE	
NAPHTHALENE		NICKEL	
NITROBENZENE		4-NITROPHENOL	
2-NITROPHENOL		PENTACHLOROPHENOL	
PHENANTHRENE		PHENOL	
PYRENE		SELENIUM	
SILVER		2,3,7,8-TETRACHLORODIBENZO-P-DIOXIN (TCDD)	
1,1,2,2-TETRACHLOROETHANE		TETRACHLOROETHYLENE	
2,3,4,6-TETRACHLOROPHENOL		THALLIUM	
TOLUENE		1,2-TRANS-DICHLOROETHYLENE	



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**WASTEWATER DISCHARGE SURVEY (Industrial uses only)**

Indicate whether any of the following chemicals are used in your facility (Continued):

**LEGEND:**

- Leave blank if Status is Absent
- Mark "S" if Status is Suspected Absent
- Mark "P" if Status is Present
- Mark "M" if Status is Suspected Present

<u>Chemical Compound</u>	<u>Status</u>	<u>Chemical Compound</u>	<u>Status</u>
TRIBROMOMETHANE		1,2,4-TRICHLOROENZENE	
1,1,2-TRICHLOROETHANE		1,1,1,-TRICHLOROETHANE	
TRICHLOROETHYLENE		2,4,6-TRICHLOROPHENOL	
VINYL CHLORIDE		ZINC	

In accordance with Title 40 of the Code of Federal Regulations Part 403 Section 403.14, information provided in this questionnaire will be available to the public without restriction. Requests for confidential treatment of other information shall be governed by procedures specified in 40 CFR 2.

"I have personally examined and am familiar with the information submitted in this document. Based upon my inquiry of those individuals immediately responsible for obtaining the information reported herein, I believe that the submitted information is true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and/or imprisonment."

Name (print):	Signature:
Title:	Date: